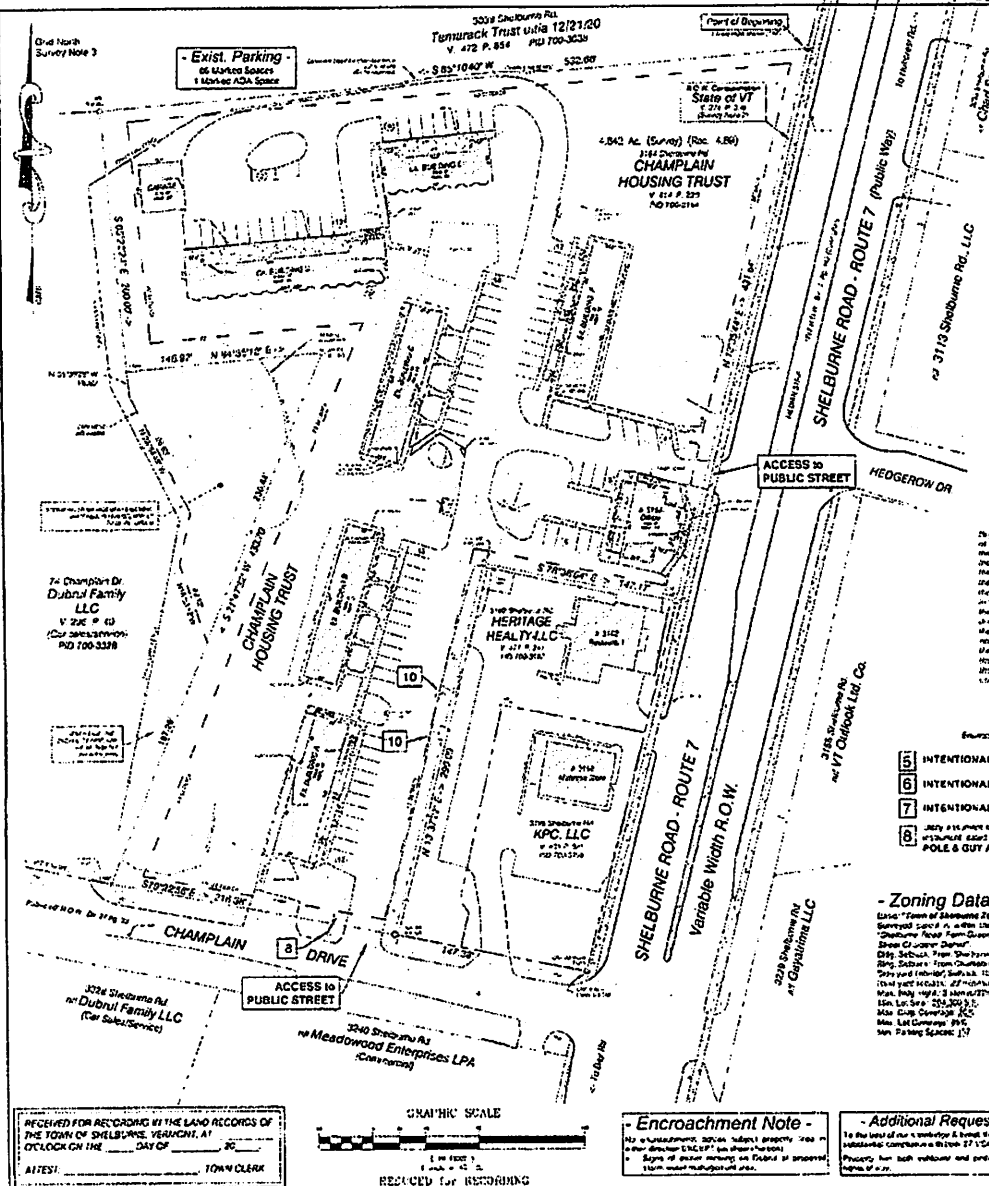


EXHIBIT A
PLAT

- ORIGINAL INK ON MYLAR - REDUCED FOR RECORDING -



Reference Plats or Plans

1. Subdivision Plat of Champlain Housing Trust, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.
2. Subdivision Plat of Champlain Housing Trust, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.
3. Subdivision Plat of Champlain Housing Trust, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.
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9. Subdivision Plat of Champlain Housing Trust, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.
10. Subdivision Plat of Champlain Housing Trust, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.

Survey Notes

1. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
2. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
3. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
4. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
5. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
6. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
7. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
8. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
9. The north-south reference line from the 1920 plat which was measured 1000.00 feet.
10. The north-south reference line from the 1920 plat which was measured 1000.00 feet.

Record Description

(Part of) CHAMPLAIN HOUSING TRUST, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.

The description of the land and premises is as follows: ...

Surveyor's Description

The property is a portion of the Champlain Housing Trust, ...

Table A Notes

1. The survey was conducted in accordance with the Vermont Surveying Act.
2. The survey was conducted in accordance with the Vermont Surveying Act.
3. The survey was conducted in accordance with the Vermont Surveying Act.
4. The survey was conducted in accordance with the Vermont Surveying Act.
5. The survey was conducted in accordance with the Vermont Surveying Act.
6. The survey was conducted in accordance with the Vermont Surveying Act.
7. The survey was conducted in accordance with the Vermont Surveying Act.
8. The survey was conducted in accordance with the Vermont Surveying Act.
9. The survey was conducted in accordance with the Vermont Surveying Act.
10. The survey was conducted in accordance with the Vermont Surveying Act.

Schedule B Part II Notes

1. The survey was conducted in accordance with the Vermont Surveying Act.
2. The survey was conducted in accordance with the Vermont Surveying Act.
3. The survey was conducted in accordance with the Vermont Surveying Act.
4. The survey was conducted in accordance with the Vermont Surveying Act.
5. The survey was conducted in accordance with the Vermont Surveying Act.
6. The survey was conducted in accordance with the Vermont Surveying Act.
7. The survey was conducted in accordance with the Vermont Surveying Act.
8. The survey was conducted in accordance with the Vermont Surveying Act.
9. The survey was conducted in accordance with the Vermont Surveying Act.
10. The survey was conducted in accordance with the Vermont Surveying Act.

Zoning Data

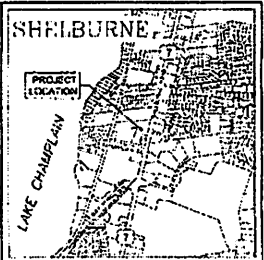
The property is zoned R-1 (Residential Single-Family) ...

Flood Zone Note

The property is located in Flood Zone AE (Aquatic) ...

Legend

- SUBJECT PROPERTY LINE
- OWNER'S PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE
- ADJACENT PROPERTY LINE



Location Map

TO: Bay Ridge Apartments Bond Limited Partnership

CHAMPLAIN HOUSING TRUST, dated 12/21/20, recorded in Volume 212 of the Town of Shelburne Land Records.

Surveyor's Signature

Surveyor's Name and Title

DATE	CEA	TRC	TRC
DATE	DATE	DATE	DATE

ALTA / NSPS Land Title Survey

Bay Ridge Apartments Bond Limited Partnership

(Champlain Housing Trust)

3164 Shelburne Road
Shelburne, Vermont

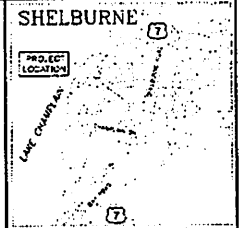
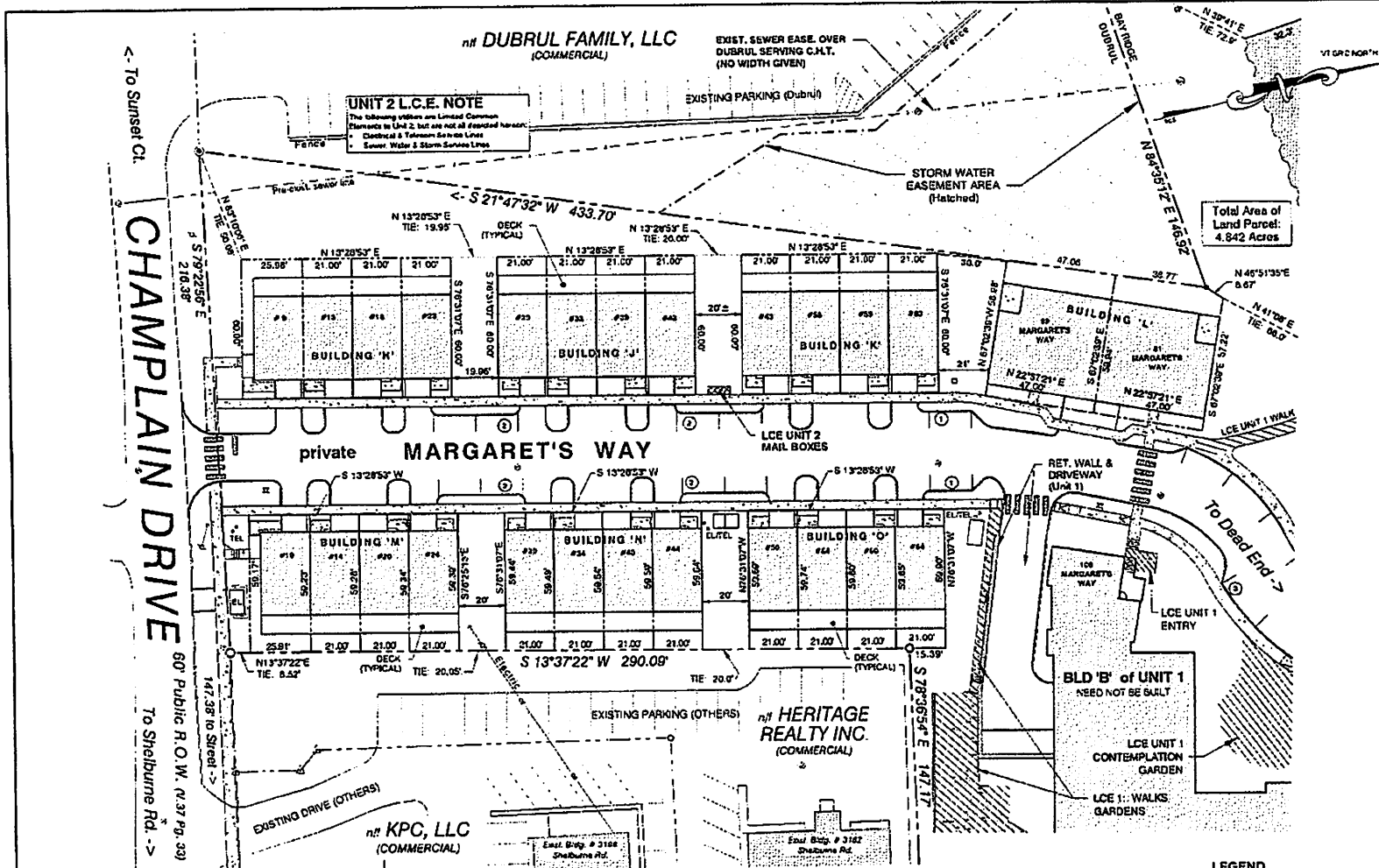
DATE: June 26, 2024

SCALE: 1" = 40'

PLAT NO: 21220

LT 1

EXHIBIT B
PLAN



Total Area of Land Parcel: 4.842 Acres

To the best of my knowledge & belief this plan contains all information required by VSA 17A Section 5:109 EXCEPT FOR ASSUMED structural floor plans or building plans prepared by CGSU Architecture Studio.

Draft 4/21/25

Timothy R. Conner VT LS 587

SURVEYORS:

CIVIL ENGINEERING ASSOCIATES, INC.
 19 HUNTERFIELD AVENUE SOUTH BURLINGTON VT 55403
 802-249-7232 FAX 802-249-7277 WWW.CEASURV.COM

COPYRIGHT © 2025 - ALL RIGHTS RESERVED

DATE: 04/21/25	REVISED:
DESIGNED: TRC	
APPROVED: TRC	
DATE: CHECKED:	REVISED:

CHAMPLAIN HOUSING TRUST, INC.
CONDOMINIUM PLAN
BAY RIDGE CONDOMINIUM
 NORTH SIDE of CHAMPLAIN DRIVE
 SHELBURNE, VERMONT

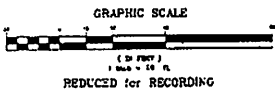
DATE: 04/21/2025

ORIGINAL SCALE: 1" = 20'

DATE: 21220

CONTRACT NUMBER: CO 1

SHEET 3 of 1



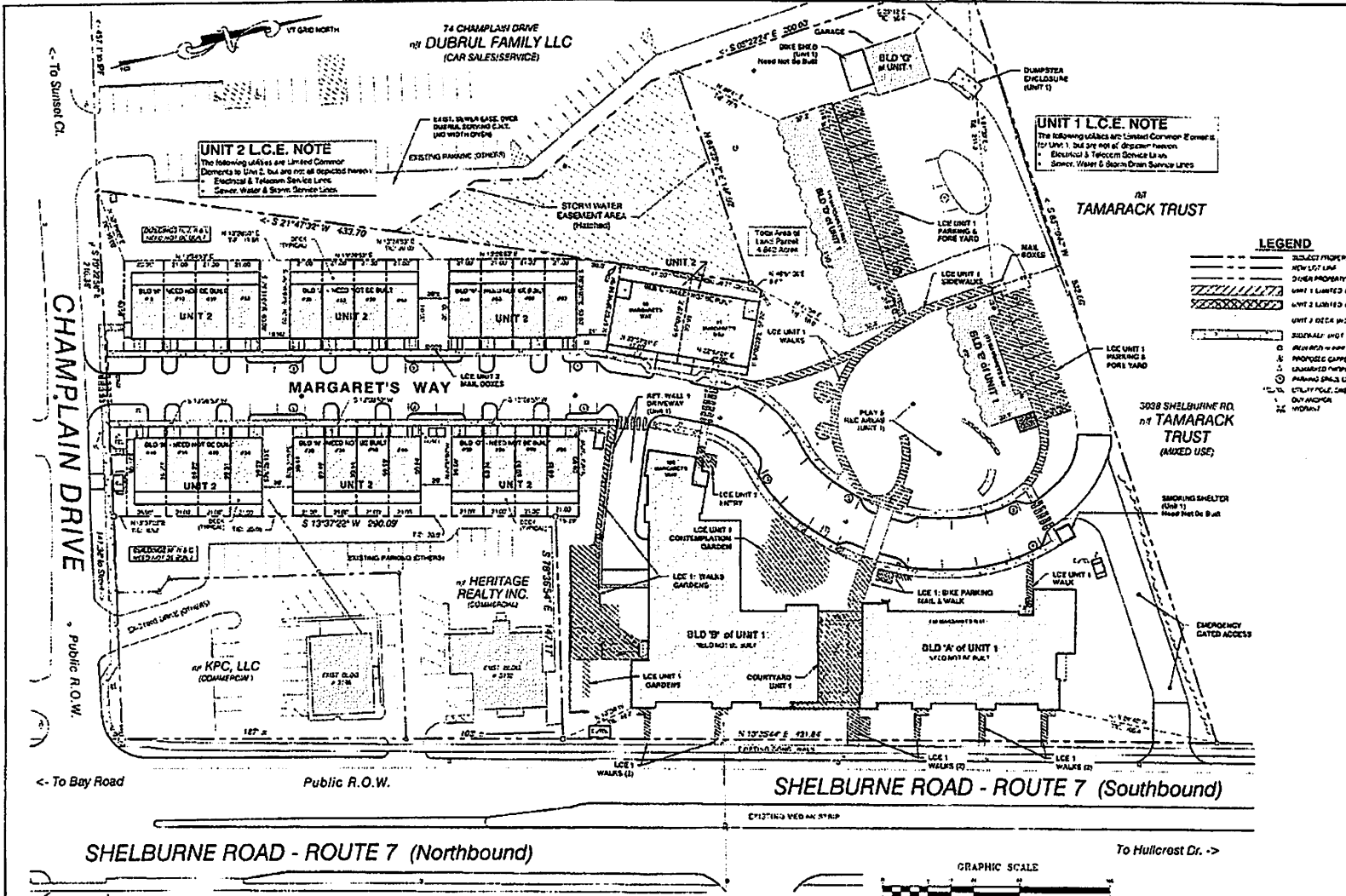
RECEIVED for RECORDING in the LAND RECORDS of the TOWN of SHELBURNE, VERMONT, at _____ O'CLOCK on the _____ DAY of _____ 20____

ATTEST: _____ TOWN CLERK

- Survey Notes -**
- Being Unit 2 of the Bay Ridge Upper Tier Common Interest Community as created by the Bay Ridge Upper Tier Common Interest Community Declaration, dated July 2, 2024, recorded in Volume 439 Pages 881-888 of the Town of Shelburne Land Records. Being a portion of the land and premises conveyed to Champlain Housing Trust, Inc. by Warranty Deed of Keston LLC, dated October 28, 2013, recorded in Volume 414, Page 320 of the Town of Shelburne Land Records.
 - Overall surveyed parcel is 4.842a acres after approximately 0.07 acres along the west side of Shelburne Rd. was acquired by the State of Vermont for widening right-of-way circa 2002-2003 per Consolidation Order recorded in Vol. 374 & 386 of Pgs. 5 & 560. Field survey was conducted during June 2023 and consisted of a closed traverse using an electronic total station. Bearings shown are referenced to Grid North, Vermont Coordinate System of 1983, based on our GPS measurements on or near the site. The Grid North conversion differs from certain record plat and descriptions, which were from Magnetic North, due westward.
 - Corner markers shown as "set" or "proposed" shall consist of 5/8" rebar with aluminum caps stamped "CEA/INC - VT LS 587" typically set flush.
 - Circle buildings and other shown herein are based on site plans and pre-construction surveys by the firm.

- LEGEND**
- SUBJECT PROPERTY LINE
 - NEIGHBORING LOT LINE
 - OTHER PROPERTY LINE
 - LIMITED OCCUPANCY ELEMENT (LCE)
 - UNIT 2 DECK (NOT ALL SHOWN)
 - EXISTING WALL ALL SHOWN
 - PROPOSED ASPHALT DRIVE
 - PROPOSED CAPPED INCH ROD
 - UNIMPAVED PROPERTY CORNER
 - PARKING SPACE CORNER
 - UTILITY POLE, ELEC./PHONE/SEWER
 - CEILING
 - FLOOR
 - UNIT 1 (UNIT 1) COMMON ELEMENT (LCE)

EXHIBIT C
UPPER TIER PLAN



UNIT 2 L.C.E. NOTE
 The following utilities are Limited Common Elements to Unit 2, but are not all depicted herein:
 • Electrical & Telecom Service Lines
 • Sewer, Water & Storm Service Lines

UNIT 1 L.C.E. NOTE
 The following utilities are Limited Common Elements to Unit 1, but are not all depicted herein:
 • Electrical & Telecom Service Lines
 • Sewer, Water & Storm Drain Service Lines

- LEGEND**
- SUBJECT PROPERTY LINE
 - NEW LOT LINE
 - OTHER PROPERTY LINE
 - UNIT 1 LIMITED COMMON ELEMENT FLOOR
 - UNIT 2 LIMITED COMMON ELEMENT FLOOR
 - UNIT 3 DECK (NOT ALL SHOWN)
 - SIDEWALK (NOT ALL SHOWN)
 - DRIVEWAY - PAVED ROAD
 - PROPOSED GARAGE WITH ROOF
 - UNPAVED DRIVEWAY
 - PARKING SPACE
 - UTILITY POLE, CABLE, PROPOSED
 - OUTRIGGER
 - WOODPILE

SURVEYORS:

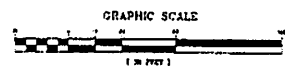
CEA
 TRC
 TRC

BAY RIDGE UPPER TIER COMMON INTEREST COMMUNITY

SHELBURNE RD. & CHAMPLAIN DR.
 SHELBURNE, VERMONT 05482

Survey Notes

1. Subject parcel conveyed to Charlotte Housing Trust Inc. by deed of transfer, LLC case 10262433 and recorded in Vol. 416 at Page 220 of the Structure Line Records.
2. Overall plan conveyed as 4.3471 acres. Approximately 0.67 acres of the property was the surveyed property and situated by the State of Vermont for public use and is shown on the 2003-2004 plat of the Shelburne Road Plan (see also the 2003-2004 plat of the Shelburne Road Plan).
3. Field survey was conducted during July 2021 and consisted of a direct traverse using an electronic total station. Survey points were referenced to GPS points with the National Horizontal datum of 2011, based on the GPS observations at the time the survey was conducted.
4. This plan shows all easements, other than utility easements, and all other easements shown on the 2003-2004 plat of the Shelburne Road Plan.
5. Certain boundaries are shown on the 2003-2004 plat of the Shelburne Road Plan and are shown on this plan as well.
6. Many easements and other shown hereon are as shown on the 2003-2004 plat of the Shelburne Road Plan and are shown on this plan as well.



To the best of my knowledge & belief the plan contains all information required by VSA 77A Section 2-109, EXCEPT FOR all necessary architectural floor plans or building plans prepared by others.

Emily R. Conner VT LS 567



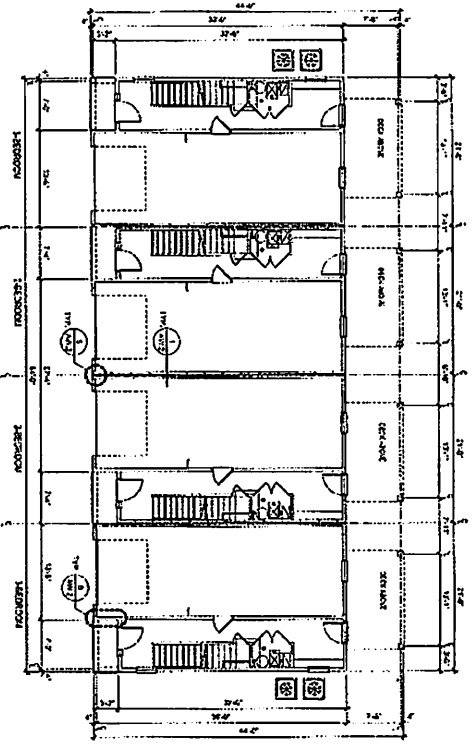
RECEIVED for RECORDING in the LAND RECORDS of the TOWN of SHELBURNE, VERMONT, at _____ O'CLOCK on the _____ DAY of _____, 20____.

ATTEST: _____ TOWN CLERK

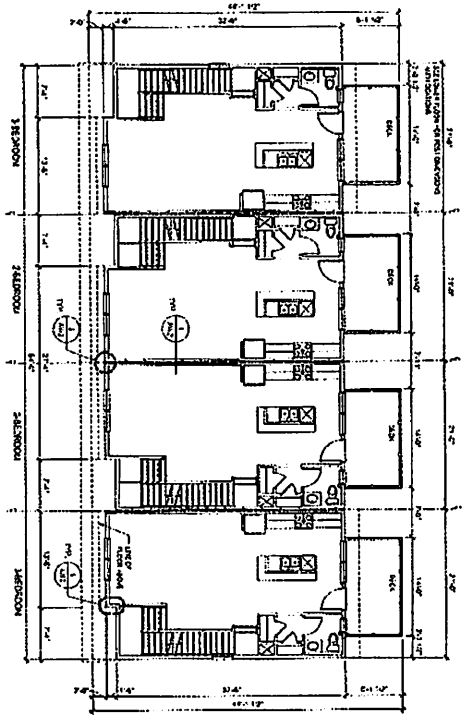
DATE: 06/24/2024
 ORIGINAL SCALE: 1" = 30'
 PLOT NO: 21220
 SHEET 1 of 1

EXHIBIT D
FLOOR PLANS
(ALL UNITS OTHER THAN 69 AND 81 MARGARET'S WAY)

1 ASSEMBLY LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ASSEMBLY MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



04/11/2024 - MASTER SET

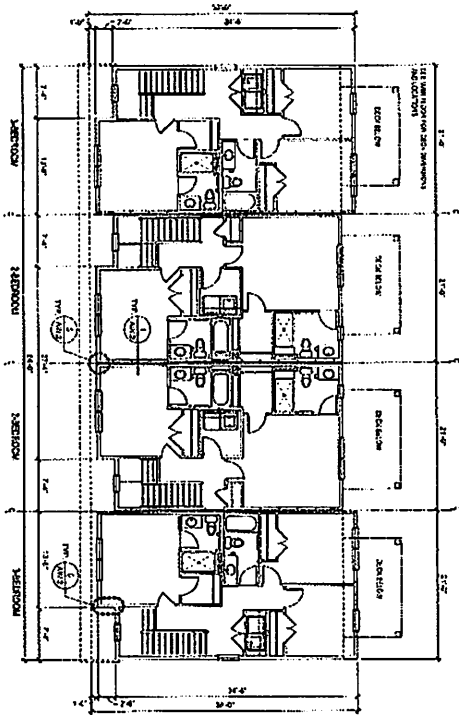
AA2.1

DATE:	04/11/24
BY:	AA2.1
CHECKED:	
APPROVED:	
SCALE:	1/8" = 1'-0"
TITLE:	ASSEMBLY LOWER FLOOR PLAN

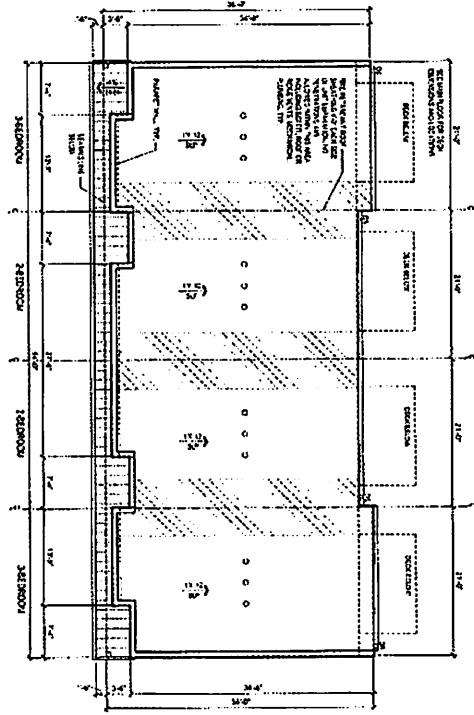

Bay Ridge Townhomes
 3164 Shelburne Road
 Shelburne, Vermont

111 North Avenue, Suite 207
 Barrington, Illinois 60010
 312.410.1260





1 ASSEMBLY UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ASSEMBLY ROOF PLAN
SCALE: 1/8" = 1'-0"

ATRIC VENTILATION SCHEDULE

1. ALL ROOMS SHALL BE PROVIDED WITH MECHANICAL EXHAUST SYSTEMS AS SHOWN ON THESE PLANS.

2. EXHAUST SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

AREA	TYPE	LOCATION	TYPE	LOCATION	TYPE	LOCATION	TYPE	LOCATION
1	1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4	4
5	5	5	5	5	5	5	5	5
6	6	6	6	6	6	6	6	6
7	7	7	7	7	7	7	7	7
8	8	8	8	8	8	8	8	8
9	9	9	9	9	9	9	9	9
10	10	10	10	10	10	10	10	10

04/11/2024 - MASTER SET

AA2.2
ASSEMBLY UPPER FLOOR
NO FLOOR PLAN

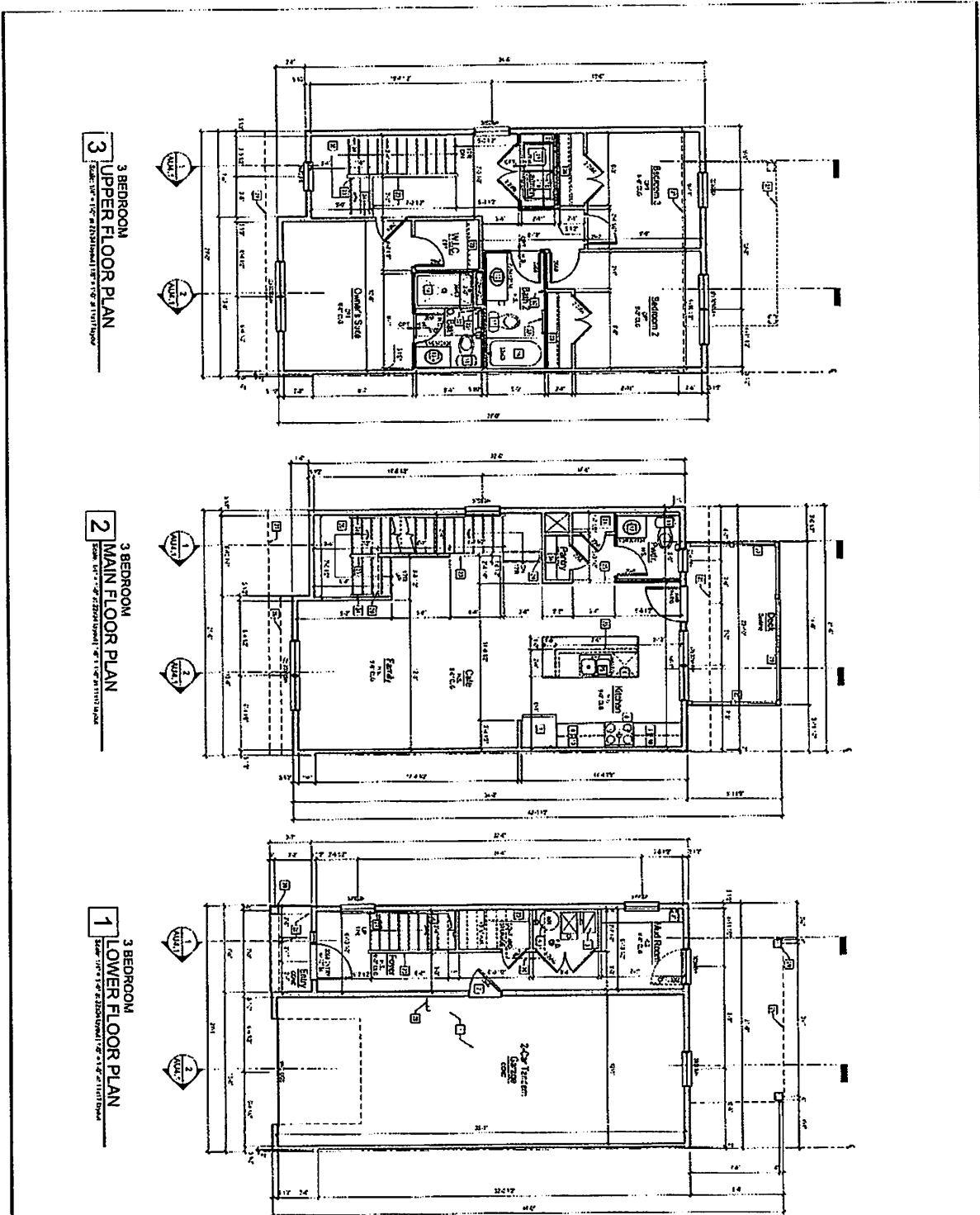
DATE	DESCRIPTION

Snyder Homes

Bay Ridge Townhomes
3164 Shelburne Road
Shelburne, Vermont

111 North Avenue, Suite 207
Barrington, Illinois 60010
312.410.1260





**3 BEDROOM
UPPER FLOOR PLAN**
Scale: 1/8" = 1'-0" (Horizontal) 1/16" = 1'-0" (Vertical)

**3 BEDROOM
MAIN FLOOR PLAN**
Scale: 1/8" = 1'-0" (Horizontal) 1/16" = 1'-0" (Vertical)

**3 BEDROOM
LOWER FLOOR PLAN**
Scale: 1/8" = 1'-0" (Horizontal) 1/16" = 1'-0" (Vertical)

UNIT SQUARE FOOTAGES

CONSTRUCTION	NET AREA	GROSS AREA
MINIMUM	1,200	1,200
MAXIMUM	1,200	1,200
TOTAL	1,200	1,200

FLOOR PLAN KEYNOTES

1. SEE GENERAL NOTES FOR FINISHES AND MATERIALS.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. FINISHES TO BE DETERMINED BY ARCHITECT AT TIME OF PERMITTING.
4. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND FINISHES.
5. SEE ARCHITECT'S SPECIFICATIONS FOR MECHANICAL AND ELECTRICAL SYSTEMS.
6. SEE ARCHITECT'S SPECIFICATIONS FOR PLUMBING AND SANITARY SYSTEMS.
7. SEE ARCHITECT'S SPECIFICATIONS FOR STRUCTURAL SYSTEMS.
8. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR FINISHES AND LANDSCAPE.
9. SEE ARCHITECT'S SPECIFICATIONS FOR INTERIOR FINISHES AND FURNITURE.
10. SEE ARCHITECT'S SPECIFICATIONS FOR LIGHTING AND ELECTRICAL FIXTURES.
11. SEE ARCHITECT'S SPECIFICATIONS FOR PAINTS AND WALL COVERINGS.
12. SEE ARCHITECT'S SPECIFICATIONS FOR FLOOR COVERINGS.
13. SEE ARCHITECT'S SPECIFICATIONS FOR CEILING FINISHES.
14. SEE ARCHITECT'S SPECIFICATIONS FOR DOOR AND WINDOW FINISHES.
15. SEE ARCHITECT'S SPECIFICATIONS FOR STAIRS AND RAILINGS.
16. SEE ARCHITECT'S SPECIFICATIONS FOR BALCONY AND TERRACE FINISHES.
17. SEE ARCHITECT'S SPECIFICATIONS FOR UTILITY ROOM FINISHES.
18. SEE ARCHITECT'S SPECIFICATIONS FOR GARAGE FINISHES.
19. SEE ARCHITECT'S SPECIFICATIONS FOR PORCH AND PATIO FINISHES.
20. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR LIGHTING.
21. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR VENTILATION.
22. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR SCREENING.
23. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR FURNITURE.
24. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR PLANTING.
25. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR WALLS.
26. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR ROOFING.
27. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR FOUNDATIONS.
28. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR STRUCTURES.
29. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR ACCESSORIES.
30. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR DETAILS.

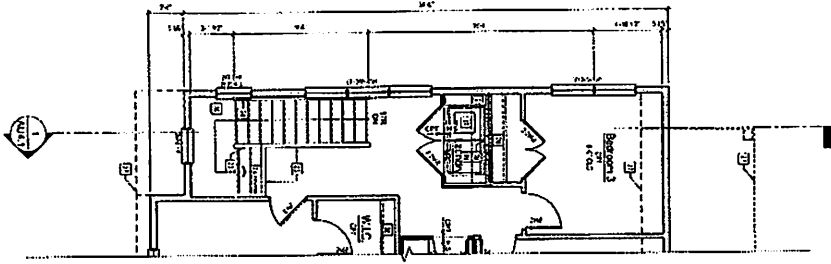
04/11/2024 - MASTER SET

Bay Ridge Townhomes
3164 Shelburne Road
Shelburne, Vermont

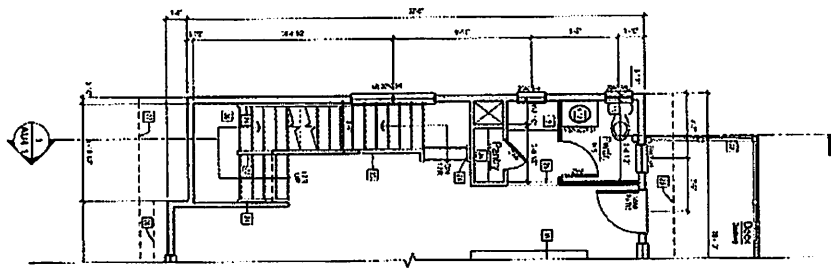
Snyder Homes
111 North Avenue, Suite 207
Berrington, Illinois 60010
312.410.1260

CōBū ARCHITECTURE STUDIO

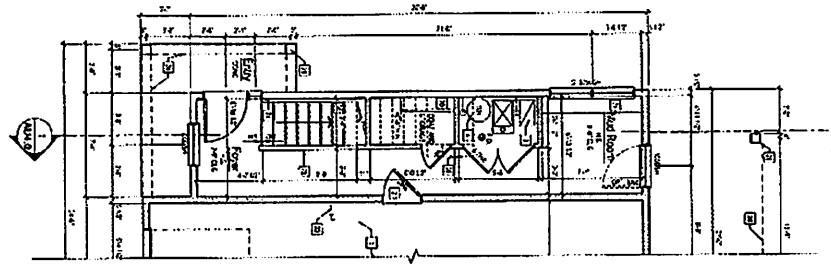
AU2.1



**3 BEDROOM OPTION
UPPER FLOOR PLAN**
Scale: 1/8" = 1'-0" (AS SHOWN) 1/4" = 1'-0" (AS NOTED)



**3 BEDROOM OPTION
MAIN FLOOR PLAN**
Scale: 1/8" = 1'-0" (AS SHOWN) 1/4" = 1'-0" (AS NOTED)



**3 BEDROOM OPTION
LOWER FLOOR PLAN**
Scale: 1/8" = 1'-0" (AS SHOWN) 1/4" = 1'-0" (AS NOTED)

UNIT SQUARE FOOTAGES

OPTION	LOWER FLOOR	UPPER FLOOR	TOTAL
OPTION 1	1,115	1,115	2,230
OPTION 2	1,115	1,115	2,230
OPTION 3	1,115	1,115	2,230

- FLOOR PLAN KEYNOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY ARCHITECT.
 3. SEE NOTES ON SHEETS 01 AND 02 FOR FINISHES.
 4. SEE NOTES ON SHEETS 03 AND 04 FOR FINISHES.
 5. SEE NOTES ON SHEETS 05 AND 06 FOR FINISHES.
 6. SEE NOTES ON SHEETS 07 AND 08 FOR FINISHES.
 7. SEE NOTES ON SHEETS 09 AND 10 FOR FINISHES.
 8. SEE NOTES ON SHEETS 11 AND 12 FOR FINISHES.
 9. SEE NOTES ON SHEETS 13 AND 14 FOR FINISHES.
 10. SEE NOTES ON SHEETS 15 AND 16 FOR FINISHES.
 11. SEE NOTES ON SHEETS 17 AND 18 FOR FINISHES.
 12. SEE NOTES ON SHEETS 19 AND 20 FOR FINISHES.
 13. SEE NOTES ON SHEETS 21 AND 22 FOR FINISHES.
 14. SEE NOTES ON SHEETS 23 AND 24 FOR FINISHES.
 15. SEE NOTES ON SHEETS 25 AND 26 FOR FINISHES.
 16. SEE NOTES ON SHEETS 27 AND 28 FOR FINISHES.
 17. SEE NOTES ON SHEETS 29 AND 30 FOR FINISHES.
 18. SEE NOTES ON SHEETS 31 AND 32 FOR FINISHES.
 19. SEE NOTES ON SHEETS 33 AND 34 FOR FINISHES.
 20. SEE NOTES ON SHEETS 35 AND 36 FOR FINISHES.
 21. SEE NOTES ON SHEETS 37 AND 38 FOR FINISHES.
 22. SEE NOTES ON SHEETS 39 AND 40 FOR FINISHES.
 23. SEE NOTES ON SHEETS 41 AND 42 FOR FINISHES.
 24. SEE NOTES ON SHEETS 43 AND 44 FOR FINISHES.
 25. SEE NOTES ON SHEETS 45 AND 46 FOR FINISHES.
 26. SEE NOTES ON SHEETS 47 AND 48 FOR FINISHES.
 27. SEE NOTES ON SHEETS 49 AND 50 FOR FINISHES.
 28. SEE NOTES ON SHEETS 51 AND 52 FOR FINISHES.
 29. SEE NOTES ON SHEETS 53 AND 54 FOR FINISHES.
 30. SEE NOTES ON SHEETS 55 AND 56 FOR FINISHES.
 31. SEE NOTES ON SHEETS 57 AND 58 FOR FINISHES.
 32. SEE NOTES ON SHEETS 59 AND 60 FOR FINISHES.
 33. SEE NOTES ON SHEETS 61 AND 62 FOR FINISHES.
 34. SEE NOTES ON SHEETS 63 AND 64 FOR FINISHES.
 35. SEE NOTES ON SHEETS 65 AND 66 FOR FINISHES.
 36. SEE NOTES ON SHEETS 67 AND 68 FOR FINISHES.
 37. SEE NOTES ON SHEETS 69 AND 70 FOR FINISHES.
 38. SEE NOTES ON SHEETS 71 AND 72 FOR FINISHES.
 39. SEE NOTES ON SHEETS 73 AND 74 FOR FINISHES.
 40. SEE NOTES ON SHEETS 75 AND 76 FOR FINISHES.
 41. SEE NOTES ON SHEETS 77 AND 78 FOR FINISHES.
 42. SEE NOTES ON SHEETS 79 AND 80 FOR FINISHES.
 43. SEE NOTES ON SHEETS 81 AND 82 FOR FINISHES.
 44. SEE NOTES ON SHEETS 83 AND 84 FOR FINISHES.
 45. SEE NOTES ON SHEETS 85 AND 86 FOR FINISHES.
 46. SEE NOTES ON SHEETS 87 AND 88 FOR FINISHES.
 47. SEE NOTES ON SHEETS 89 AND 90 FOR FINISHES.
 48. SEE NOTES ON SHEETS 91 AND 92 FOR FINISHES.
 49. SEE NOTES ON SHEETS 93 AND 94 FOR FINISHES.
 50. SEE NOTES ON SHEETS 95 AND 96 FOR FINISHES.
 51. SEE NOTES ON SHEETS 97 AND 98 FOR FINISHES.
 52. SEE NOTES ON SHEETS 99 AND 100 FOR FINISHES.

FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISHES TO BE DETERMINED BY ARCHITECT.

3. SEE NOTES ON SHEETS 01 AND 02 FOR FINISHES.

4. SEE NOTES ON SHEETS 03 AND 04 FOR FINISHES.

5. SEE NOTES ON SHEETS 05 AND 06 FOR FINISHES.

6. SEE NOTES ON SHEETS 07 AND 08 FOR FINISHES.

7. SEE NOTES ON SHEETS 09 AND 10 FOR FINISHES.

8. SEE NOTES ON SHEETS 11 AND 12 FOR FINISHES.

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10. SEE NOTES ON SHEETS 15 AND 16 FOR FINISHES.

11. SEE NOTES ON SHEETS 17 AND 18 FOR FINISHES.

12. SEE NOTES ON SHEETS 19 AND 20 FOR FINISHES.

13. SEE NOTES ON SHEETS 21 AND 22 FOR FINISHES.

14. SEE NOTES ON SHEETS 23 AND 24 FOR FINISHES.

15. SEE NOTES ON SHEETS 25 AND 26 FOR FINISHES.

16. SEE NOTES ON SHEETS 27 AND 28 FOR FINISHES.

17. SEE NOTES ON SHEETS 29 AND 30 FOR FINISHES.

18. SEE NOTES ON SHEETS 31 AND 32 FOR FINISHES.

19. SEE NOTES ON SHEETS 33 AND 34 FOR FINISHES.

20. SEE NOTES ON SHEETS 35 AND 36 FOR FINISHES.

21. SEE NOTES ON SHEETS 37 AND 38 FOR FINISHES.

22. SEE NOTES ON SHEETS 39 AND 40 FOR FINISHES.

23. SEE NOTES ON SHEETS 41 AND 42 FOR FINISHES.

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36. SEE NOTES ON SHEETS 67 AND 68 FOR FINISHES.

37. SEE NOTES ON SHEETS 69 AND 70 FOR FINISHES.

38. SEE NOTES ON SHEETS 71 AND 72 FOR FINISHES.

39. SEE NOTES ON SHEETS 73 AND 74 FOR FINISHES.

40. SEE NOTES ON SHEETS 75 AND 76 FOR FINISHES.

41. SEE NOTES ON SHEETS 77 AND 78 FOR FINISHES.

42. SEE NOTES ON SHEETS 79 AND 80 FOR FINISHES.

43. SEE NOTES ON SHEETS 81 AND 82 FOR FINISHES.

44. SEE NOTES ON SHEETS 83 AND 84 FOR FINISHES.

45. SEE NOTES ON SHEETS 85 AND 86 FOR FINISHES.

46. SEE NOTES ON SHEETS 87 AND 88 FOR FINISHES.

47. SEE NOTES ON SHEETS 89 AND 90 FOR FINISHES.

48. SEE NOTES ON SHEETS 91 AND 92 FOR FINISHES.

49. SEE NOTES ON SHEETS 93 AND 94 FOR FINISHES.

50. SEE NOTES ON SHEETS 95 AND 96 FOR FINISHES.

51. SEE NOTES ON SHEETS 97 AND 98 FOR FINISHES.

52. SEE NOTES ON SHEETS 99 AND 100 FOR FINISHES.

04/11/2024 - MASTER SET

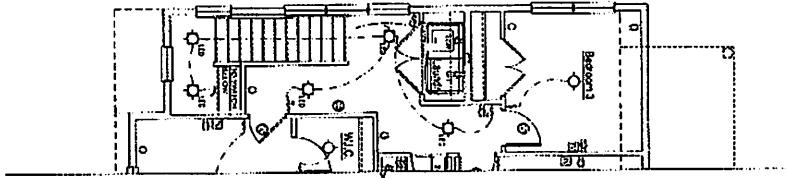
DATE: 04/11/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: 3164 SHELBURNE ROAD
 SHELBURNE, VT
 SHEET: AU2.2

Snyder Homes
 Bay Ridge Townhomes
 3164 Shelburne Road
 Shelburne, Vermont

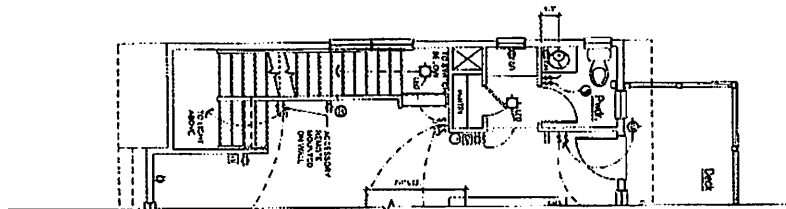
111 North Avenue, Suite 207
 Barrington, Illinois 60010
 312.410.1260



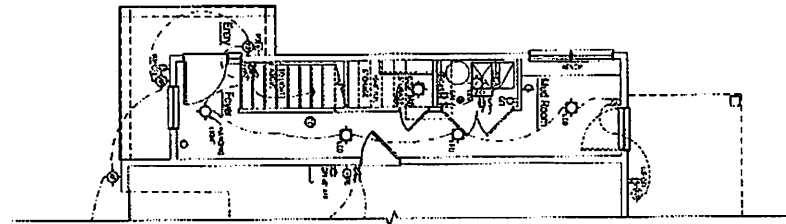
3 3 BEDROOM OPTION
UPPER ELECTRICAL FLOOR PLAN



2 3 BEDROOM OPTION
MAIN ELECTRICAL FLOOR PLAN



1 3 BEDROOM OPTION
LOWER ELECTRICAL FLOOR PLAN



ELECTRICAL KEY


○ POWER OUTLET
 ○ DIMMER
 ○ SWITCH
 ○ LIGHT FIXTURE
 ○ RECEPTACLE
 ○ TELEPHONE
 ○ DATA
 ○ CLOSET LIGHT
 ○ HALL LIGHT
 ○ BATH LIGHT
 ○ KITCHEN LIGHT
 ○ LIVING LIGHT
 ○ BEDROOM LIGHT
 ○ HALLWAY LIGHT
 ○ STAIR LIGHT
 ○ GARAGE LIGHT
 ○ PORCH LIGHT
 ○ DRIVEWAY LIGHT
 ○ FLOOD LIGHT
 ○ SECURITY LIGHT
 ○ EXTERIOR LIGHT
 ○ UNDER CABINET LIGHT
 ○ UNDER SINK LIGHT
 ○ UNDER STAIR LIGHT
 ○ UNDER BED LIGHT
 ○ UNDER TV LIGHT
 ○ UNDER BENCH LIGHT
 ○ UNDER VANITY LIGHT
 ○ UNDER SINK LIGHT
 ○ UNDER STAIR LIGHT
 ○ UNDER BED LIGHT
 ○ UNDER TV LIGHT
 ○ UNDER BENCH LIGHT
 ○ UNDER VANITY LIGHT

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
 2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
 3. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.
 4. ALL ELECTRICAL WORK SHALL BE MARKED AND IDENTIFIED AS PER THE NATIONAL ELECTRICAL CODE (NEC).
 5. ALL ELECTRICAL WORK SHALL BE PROTECTED FROM PHYSICAL DAMAGE.
 6. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
 7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
 8. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
 9. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
 10. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.

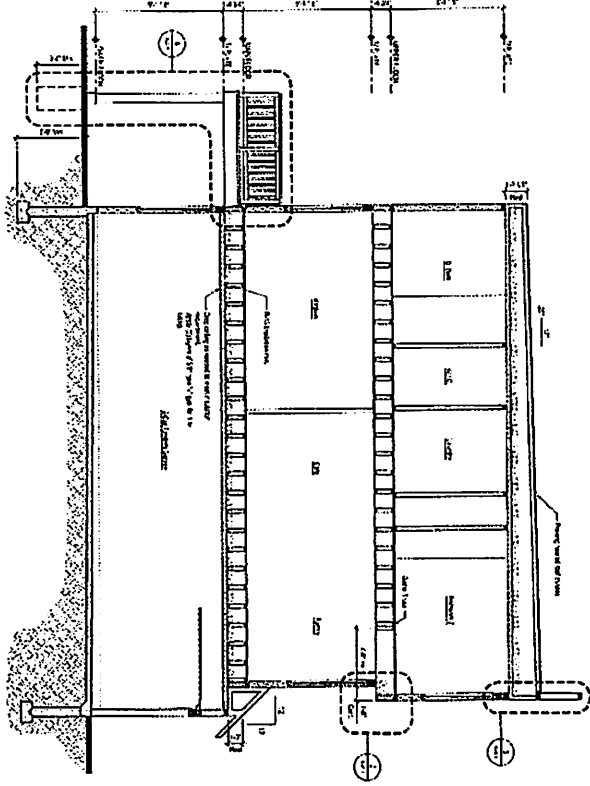
04/11/2024 - MASTER SET

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04/11/2024	ISSUED FOR CONSTRUCTION
04/11/2024	ISSUED FOR RECORD

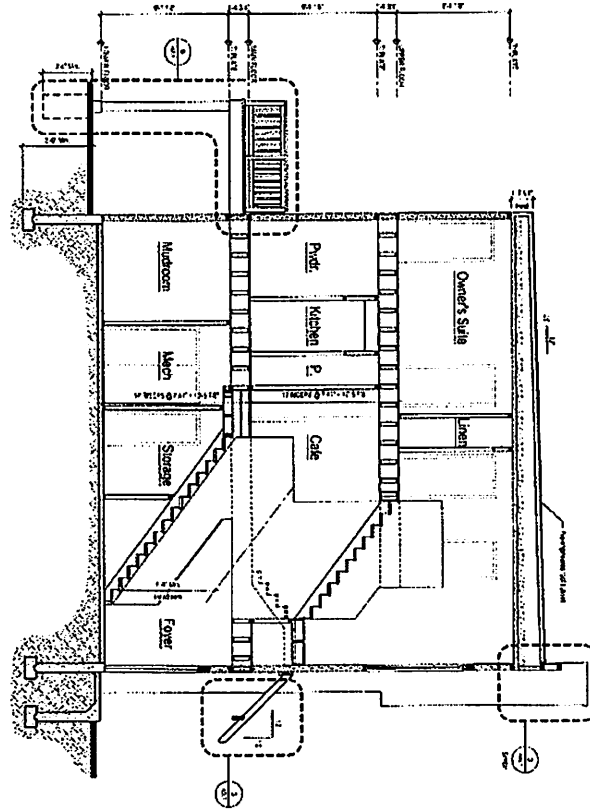

Bay Ridge Townhomes
 3164 Shelburne Road
 Shelburne, Vermont

111 North Avenue, Suite 207
 Barrington, Illinois 60010
 312.410.1260





2
2 BEDROOM
BUILDING SECTION
Scale: 1/8" = 1'-0" (25mm = 1'-0") (1/8" = 1/16" Grid)



1
2 BEDROOM
BUILDING SECTION
Scale: 1/8" = 1'-0" (25mm = 1'-0") (1/8" = 1/16" Grid)

04/11/2024 - MASTER SET

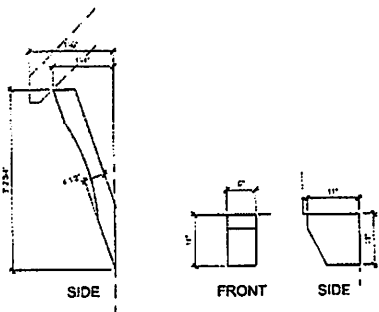
AU4.1

DATE	DESCRIPTION

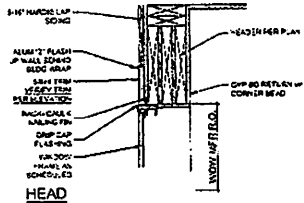
Snyder Homes
Bay Ridge Townhomes
 3164 Shelburne Road
 Shelburne, Vermont

111 North Avenue, Suite 207
 Barrington, Illinois 60010
 312.410.1260

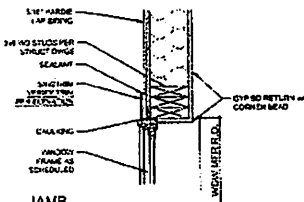




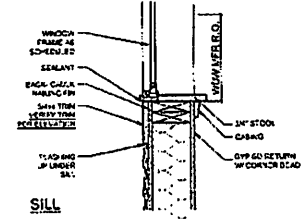
8 DECORATIVE BRACKET DETAIL
SCALE: 1" = 1'-0"



HEAD

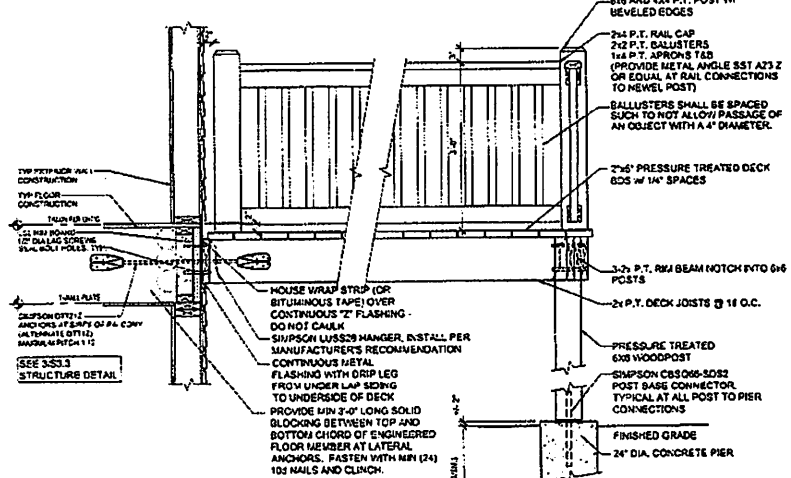


JAMB

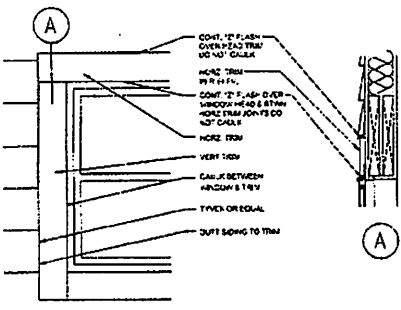


SILL

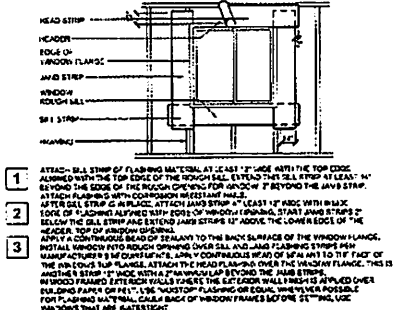
7 SIDING WINDOW DETAIL
SCALE: 1/2" = 1'-0"



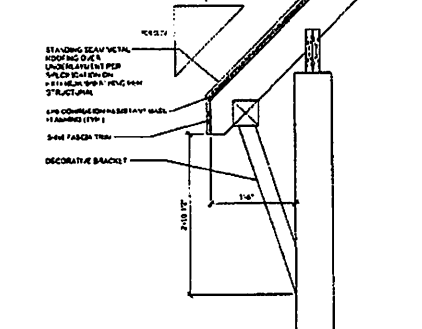
6 DECK AND RAILING DETAIL
SCALE: 1/2" = 1'-0"



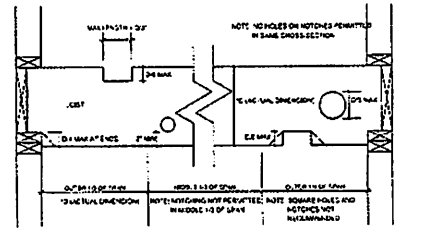
5 WINDOW FLASHING DETAIL
SCALE: 1/2" = 1'-0"



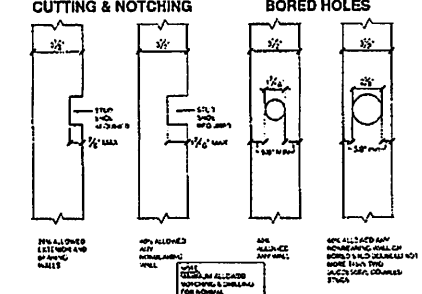
4 WINDOW INSTALLATION DETAIL
SCALE: 1/2" = 1'-0"



3 CANOPY DETAIL
SCALE: 1/2" = 1'-0"



2 JOIST DETAIL
SCALE: 1/2" = 1'-0"



1 NOTCHING AND DRILLING WALL DETAIL
SCALE: N/A

1. ATTACH - SILL STOP OF FLASHING MATERIAL AT LEAST 1" FROM THE TOP EDGE AND THE TOP EDGE OF THE WINDOW SILL. EXTEND THE SILL STOP AT LEAST 1" BEYOND THE EDGE OF THE WINDOW HEAD AND 1" BEYOND THE JAMB STOP.
2. ATTACH FLASHING WITH CORROSION RESISTANT NAILS.
3. ATTACH SILL STOP TO WINDOW HEAD AND JAMB STOP WITH BRASS CORNERS. FLASHING MUST BE ALIGNED WITH EDGE OF WINDOW HEAD AND JAMB STOP. BELOW THE SILL STOP AND EXTEND JAMB STOP 1" ABOVE THE LOWER EDGE OF THE HEADER. TOP OF WINDOW HEADER MUST BE CONTINUOUS BEAD OF SEALANT TO THE BACK SURFACE OF THE WINDOW FLANGE. INSTALL WINDOW INTO WINDOW HEAD AND JAMB FLASHING STOPPER PER MANUFACTURER'S INSTRUCTIONS. USE Y-CORNER HEAD OF SPAN AND TO THE FACE OF THE WINDOW FLANGE. ATTACH THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS THE AIR STOP. THE AIR STOP MUST BE 1/2" ABOVE THE JAMB STOP. IN WOOD FRAME EXTERIOR WALLS THE SETBACK WALL FINISH IS APPLIED OVER BUILDING PAPER OR 1/2" L.V.C. 'WOODTOP' FLASHING OR EQUAL. WHENEVER POSSIBLE FOR FLASHING MATERIAL, CALL BACK OF WINDOW FRAMES BEFORE SETTING WINDOW. MANUFACTURER'S INSTRUCTIONS TO SUPPORT BUILDING PAPER BENEATH CORNER FLASHING STOPPER SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE MORE THAN 6" FROM EXTERIOR SURFACE OF FINISH WALL AND NATURAL PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BANDING.

JOIST SIZE	MINIMUM JOIST SPACING	MINIMUM JOIST SPACING	MINIMUM JOIST SPACING
2x4	16"	16"	16"
2x6	16"	16"	16"
2x8	16"	16"	16"
2x10	16"	16"	16"
2x12	16"	16"	16"



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312.410.1260

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3164 Shelburne Road
Shelburne, Vermont



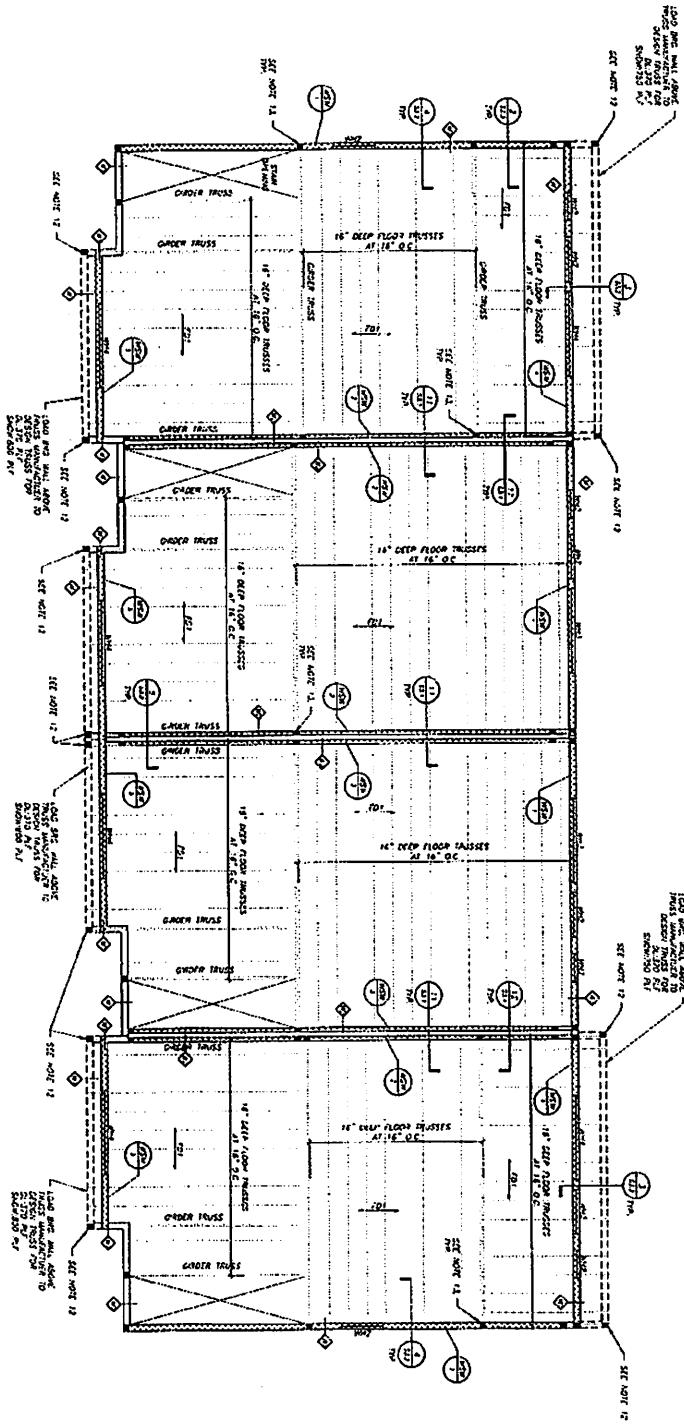
REVISION DATE: 01/23/2024

JOB NO: 1725-227

DATE: AD.1

04/11/2024 - MASTER SET

SCALE: 1/4" = 1'-0"



UPPER FLOOR FRAMING PLAN

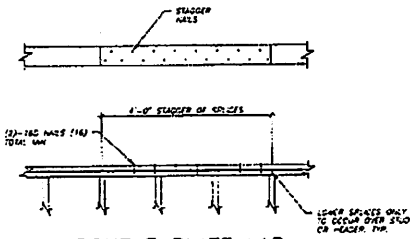
- NOTES:
1. FLOOR TRUSS AND G.I. JOIST (GIRDERS) SHALL BE SUPPLIED BY APPROVED MANUFACTURER.
 2. ALL JOISTS AND GIRDERS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 3. ALL TRUSSES AND GIRDERS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 4. ALL TRUSSES AND GIRDERS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 5. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 6. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 7. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 8. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 9. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 10. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 11. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.
 12. SEE S11 AND S12 FOR GIRDERS AND TRUSSES.

Project	SF
Drawn	POV
Checked	
Scale	
Date	03/11/2024
Sheet	S1.3
Project Name	UPPER FLOOR FRAMING PLAN
Sheet Number	2024-031

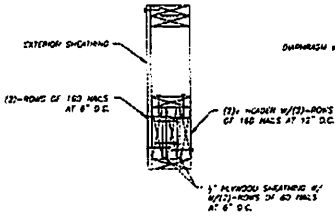
VIRGILIO & ASSOCIATES, LTD.
 STRUCTURAL ENGINEERS
 2110 North Elm Street
 Lake Placid, N.Y. 12946
 518-535-6111
 518-535-6112

Bay Ridge Townhomes
 3164 Shelburne Road
 Shelburne, Vermont

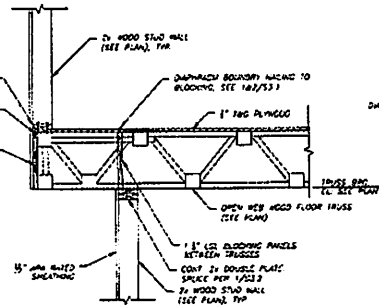
REVISIONS	
No.	Description



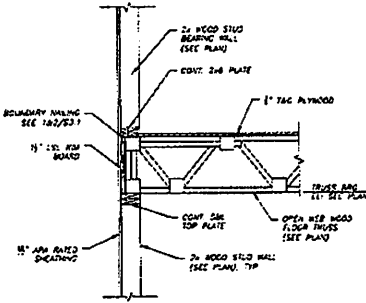
1 DOUBLE PLATE LAP DETAIL
S3.2



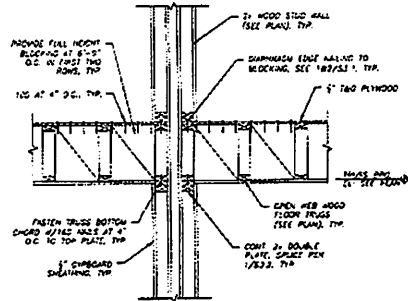
2 HEADER DETAIL
SCALE: NOT APPLICABLE



3 TYP. FLOOR TRUSS BRG. AT EXT. WALL
S3.2



4 TYP. FLOOR TRUSS BRG. AT EXT. WALL
S3.2



5 TYP. FLOOR TRUSS DETAIL AT INT. WALL
S3.2

WOOD WALL SCHEDULE					
MARK	LEVEL	WALL TYPE	STUD SIZE AND SPACING	SPECIES/GRADE	REMARKS
W1	UPPER	EXTERIOR	(1) 2x4 @ 16" O.C.	SPF #1/2	-
	MID	EXTERIOR	(2) 2x4 @ 16" O.C.	SPF #1/2	-
	LOWER	EXTERIOR	(2) 2x4 @ 16" O.C.	SPF #1/2	-
W2	UPPER	EXTERIOR	(1) 2x4 @ 16" O.C.	SPF #1/2	-
	MID	EXTERIOR	(1) 2x4 @ 16" O.C.	SPF #1/2	-
	LOWER	EXTERIOR	(1) 2x4 @ 16" O.C.	SPF #1/2	-

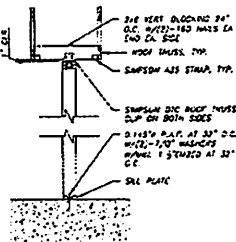
- NOTES:
 1. ALIGN STUDS WITH DIMENSIONS.
 2. SPLY = SPRUCE PINE FIR.
 3. FINISH EQUALS TOP PLATES AND SINGLE BOTTOM PLATE.
 4. ALL PLATES ARE SPF #1/2 WITH 1/2" MATCH STUD WITH (SLAND).
 5. ALL OTHER EXTERIOR WALLS TO BE SHEATHED WITH 1/2" PLY RATED SHEATHING NAILED 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE FIELD. BLOCK ALL PANEL EDGES.
 6. WHELE WOOD AS SHEAR WALLS TO MEET THE REQUIREMENTS OF SHEAR WALL SHEATHING.

6 WOOD WALL SCHEDULE
SCALE: NOT APPLICABLE

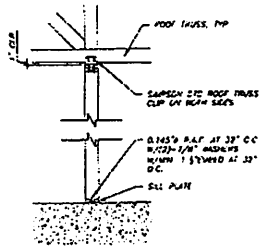
SHEAR WALL SCHEDULE								
MARK	LEVEL	WALL STUD SIZE	LEAD POSTS	SHAKE CONNECTION	SHEATHING	SHEATHING NAIL SIZE & SPACING	SILL PLATE ANCHORS	REMARKS
W3-1	UPPER	2x4 @ 16" O.C.	(1)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	MID	2x4 @ 16" O.C.	(2)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	LOWER	2x4 @ 16" O.C.	(2)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
W3-2	UPPER	2x4 @ 16" O.C.	(1)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	MID	2x4 @ 16" O.C.	(2)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	LOWER	2x4 @ 16" O.C.	(2)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
W3-3	UPPER	2x4 @ 16" O.C.	(1)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	MID	2x4 @ 16" O.C.	(2)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	LOWER	2x4 @ 16" O.C.	(2)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
W3-4	UPPER	2x4 @ 16" O.C.	(1)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-
	LOWER	2x4 @ 16" O.C.	(1)-2x4	SIMPSON WOODS 5/8" DIA. 12" LONG ANCHORS 1" CENTER TO CENTER	1/2" SHEATHING	PANEL EDGE: 100 @ 6" O.C. FIELD: 100 @ 12" O.C.	(2) 1x4 @ 16" O.C.	-

- NOTES:
 1. ALL END POSTS TO BE S3.2 PINE #2 UNGR.
 2. SHEAR WALL CHORD STUDS TO OCCUPY TO CENTERLINE END OF WOOD TRUSSES BELOW. REFER TO STRAP AND FOR THE CONNECTION.
 3. ALL SHEATHING SHALL BE S4A RATED 32/PSI MINIMUM RATING.
 4. SHEAR WALL CHORD STUDS TO CONTINUE TO TOP OF CONCRETE WALL. REFER TO STRAP/HOLE DOWN INFORMATION IN SCHEDULE TO CONNECT CHORD STUDS AT EACH FLOOR LEVEL.
 5. BLOCK ALL PANEL EDGES.

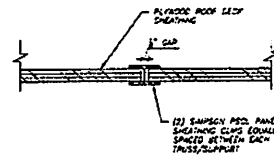
7 WOOD SHEAR WALL SCHEDULE
S3.2



8 NON BRG. WALL DETAIL
SCALE: NOT APPLICABLE



9 PLYWOOD EDGE BLOCKING
SCALE: NOT APPLICABLE



Bay Ridge Townhomes
3164 Shelburne Road
Shelburne, Vermont

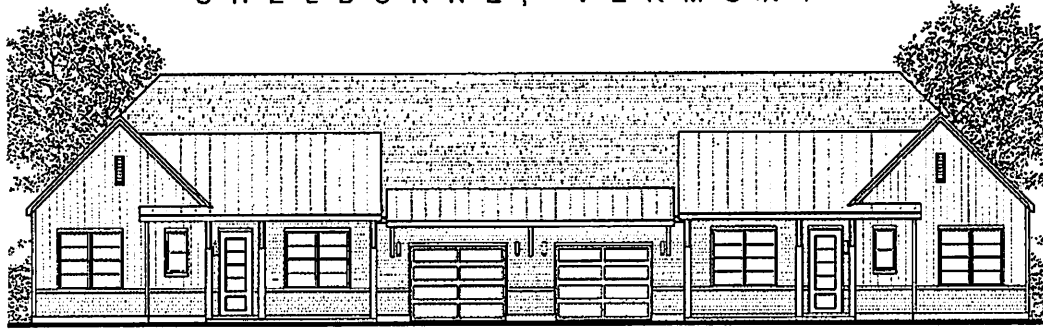
VIRGILIO & ASSOCIATES, LTD.
STRUCTURAL ENGINEERS

Project: SP
 Architect: PCV
 Date: 03/11/2024
 Project Number: 2024-031

EXHIBIT E
FLOOR PLANS
69 MARGARET'S WAY AND 81 MARGARET'S WAY



69 & 81 Margaret's Way
BAY RIDGE VILLAS
 SHELburnE, VERMONT



PROJECT INFO

PROJECT: THE BAY RIDGE VILLAS
PROJECT LOCATION: SHELburnE, VT
PROJECT TYPE: DUPLEX

MINIMUM CODES:
 - VERMONT FIRE BUILDER'S SAFETY CODE, 2015
 - NFPA LIFE SAFETY CODES (NFPA 101, 2015 AS AMENDED)
 - IBC INTERNATIONAL MECHANICAL CODE (IBC) 2015 AS AMENDED
 - NFPA FIRE CODE (NFPA 1) 2015 AS AMENDED
 - NFPA NATIONAL ELECTRICAL CODE (NFPA 70) 2017
 - IBC INTERNATIONAL PLUMBING CODE (IPC) 2015
 - VERMONT & FEDERAL BUILDING ENERGY EFFICIENCY ACT (2006 ASCE 90.1)
 - VERMONT ACCESS RULES, 10-2

COORDINATION:
USE GROUP: R-3 (SEE SECTION 21.0.1)
QUALITY CLASSIFICATION: TRADE FAMILY DEVELOPING
CONSTRUCTION TYPE: 5B (SEE TABLE 601)
ALLOWABLE AREA: 7,300 S.F. (SEE TABLE 601-F)
ACTUAL AREA: 1,000 S.F.
ALLOWABLE STORIES: 2 STORIES (SEE TABLE 601-A)
ACTUAL HEIGHT: 1 STORY (20'-0")

ADDITIONAL INFORMATION: NFPA SECTION 21.0.1.1
 1. UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 2. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 3. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 4. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 5. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 6. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 7. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 8. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 9. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1
 10. CEILING AND WALLS OF SECTION 21.0.1.1 UNPLATED PIPE SHALL BE CORROSION RESISTANT PER SECTION 6.0.2.1

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01.05	ASSEMBLY EXTERIOR ELEVATIONS
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01.02	BUILDING SECTIONS
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81 MARGARET'S WAY	
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01.02	WALL SECTIONS & DETAILS
01.03	WALL SECTIONS & DETAILS
01.04	DETAILS

PROJECT TEAM

OWNER	ENTREPRENEUR'S BUILDING GROUP, LLC, SHELburnE, VT 05482
ARCHITECT	COBU ARCHITECTURE STUDIO, 1000 TRILLIUM BOULEVARD, UNIT 60102, SHELburnE, VT 05482

ADDRESSES

69 MARGARET'S WAY
81 MARGARET'S WAY

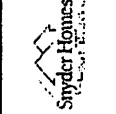
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- TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THESE DOCUMENTS COMPLY WITH THE REQUIREMENTS OF THE BUILDING APPLICABLE LAWS AND ORDINANCES IN THE CITY OF SHELburnE, VERMONT.
- IT IS THE INTENT OF THE ARCHITECT TO DESIGN AND CONSTRUCT THESE DOCUMENTS AS ACCURATE AS POSSIBLE FOR THE PURPOSE OF OBTAINING PERMITS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THESE DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY BE FOUND IN THESE DOCUMENTS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE VERMONT BUILDING CODE, VERMONT ELECTRICAL CODE, VERMONT PLUMBING CODE, VERMONT FIRE CODE, VERMONT ENERGY EFFICIENCY ACT, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE COST OF SUCH PERMITS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OBTAINING PERMITS OR FOR THE COST OF SUCH PERMITS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND FOR THE COST OF SUCH COORDINATION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE COORDINATION OF TRADES OR FOR THE COST OF SUCH COORDINATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND FOR THE COST OF SUCH PROTECTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PROTECTION OF UTILITIES OR FOR THE COST OF SUCH PROTECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURE AND FOR THE COST OF SUCH PROTECTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PROTECTION OF STRUCTURE OR FOR THE COST OF SUCH PROTECTION.
- IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE THE PROPER PROCEDURES, METHODS AND SEQUENCE OF CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND CONTROL OF ALL EXISTING UTILITIES AND STRUCTURE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PROTECTION OF UTILITIES OR STRUCTURE.
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5407 Trillium Boulevard
 Unit B110
 Hoffman Estates, Illinois 60102
 312.410.1260

Bay Ridge Villas
 69 & 81 Margaret's Way
 Shelburne, Vermont



DATE	04/02/2025
JOB NO	072523
COVER SHEET, TITLE AND PROJECT INFORMATION	
69 & 81 MARGARET'S WAY	
CS	

04/02/2025 - 95% CD SET

1. GENERAL INFORMATION

A. PROJECT NAME: [Project Name]

B. PROJECT LOCATION: [Project Location]

C. PROJECT DESCRIPTION: [Project Description]

D. PROJECT OWNER: [Project Owner]

E. PROJECT MANAGER: [Project Manager]

F. PROJECT START DATE: [Project Start Date]

G. PROJECT END DATE: [Project End Date]

H. PROJECT BUDGET: [Project Budget]

I. PROJECT RISK ASSESSMENT: [Project Risk Assessment]

J. PROJECT COMMUNICATION PLAN: [Project Communication Plan]

K. PROJECT REPORTING STRUCTURE: [Project Reporting Structure]

L. PROJECT CHANGE MANAGEMENT: [Project Change Management]

M. PROJECT CLOSURE: [Project Closure]

N. PROJECT EVALUATION: [Project Evaluation]

O. PROJECT ARCHIVE: [Project Archive]

P. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

2. PROJECT SCOPE

A. PROJECT OBJECTIVES: [Project Objectives]

B. PROJECT DELIVERABLES: [Project Deliverables]

C. PROJECT CONSTRAINTS: [Project Constraints]

D. PROJECT ASSUMPTIONS: [Project Assumptions]

E. PROJECT RISKS: [Project Risks]

F. PROJECT OPPORTUNITIES: [Project Opportunities]

G. PROJECT THREATS: [Project Threats]

H. PROJECT CHALLENGES: [Project Challenges]

I. PROJECT SUCCESS CRITERIA: [Project Success Criteria]

J. PROJECT FAILURE CRITERIA: [Project Failure Criteria]

K. PROJECT EXIT STRATEGY: [Project Exit Strategy]

L. PROJECT TRANSFER OF RESPONSIBILITY: [Project Transfer of Responsibility]

M. PROJECT HANDOVER: [Project Handover]

N. PROJECT ARCHIVE: [Project Archive]

O. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

P. PROJECT EVALUATION: [Project Evaluation]

3. PROJECT ORGANIZATION

A. PROJECT ORGANIZATION CHART: [Project Organization Chart]

B. PROJECT ROLES AND RESPONSIBILITIES: [Project Roles and Responsibilities]

C. PROJECT STAKEHOLDERS: [Project Stakeholders]

D. PROJECT COMMUNICATION PLAN: [Project Communication Plan]

E. PROJECT REPORTING STRUCTURE: [Project Reporting Structure]

F. PROJECT CHANGE MANAGEMENT: [Project Change Management]

G. PROJECT CLOSURE: [Project Closure]

H. PROJECT EVALUATION: [Project Evaluation]

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N. PROJECT EVALUATION: [Project Evaluation]

O. PROJECT ARCHIVE: [Project Archive]

P. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

4. PROJECT RISK MANAGEMENT

A. PROJECT RISK ASSESSMENT: [Project Risk Assessment]

B. PROJECT RISK REGISTER: [Project Risk Register]

C. PROJECT RISK RESPONSE PLAN: [Project Risk Response Plan]

D. PROJECT RISK MONITORING AND REPORTING: [Project Risk Monitoring and Reporting]

E. PROJECT RISK CLOSURE: [Project Risk Closure]

F. PROJECT RISK EVALUATION: [Project Risk Evaluation]

G. PROJECT RISK ARCHIVE: [Project Risk Archive]

H. PROJECT RISK LEGAL AND COMPLIANCE: [Project Risk Legal and Compliance]

I. PROJECT RISK EVALUATION: [Project Risk Evaluation]

J. PROJECT RISK ARCHIVE: [Project Risk Archive]

K. PROJECT RISK LEGAL AND COMPLIANCE: [Project Risk Legal and Compliance]

L. PROJECT RISK EVALUATION: [Project Risk Evaluation]

M. PROJECT RISK ARCHIVE: [Project Risk Archive]

N. PROJECT RISK LEGAL AND COMPLIANCE: [Project Risk Legal and Compliance]

O. PROJECT RISK EVALUATION: [Project Risk Evaluation]

P. PROJECT RISK ARCHIVE: [Project Risk Archive]

5. PROJECT COMMUNICATION

A. PROJECT COMMUNICATION PLAN: [Project Communication Plan]

B. PROJECT REPORTING STRUCTURE: [Project Reporting Structure]

C. PROJECT CHANGE MANAGEMENT: [Project Change Management]

D. PROJECT CLOSURE: [Project Closure]

E. PROJECT EVALUATION: [Project Evaluation]

F. PROJECT ARCHIVE: [Project Archive]

G. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

H. PROJECT EVALUATION: [Project Evaluation]

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J. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

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M. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

N. PROJECT EVALUATION: [Project Evaluation]

O. PROJECT ARCHIVE: [Project Archive]

P. PROJECT LEGAL AND COMPLIANCE: [Project Legal and Compliance]

6. PROJECT CLOSURE

A. PROJECT CLOSURE PLAN: [Project Closure Plan]

B. PROJECT CLOSURE REPORT: [Project Closure Report]

C. PROJECT CLOSURE REVIEW: [Project Closure Review]

D. PROJECT CLOSURE ARCHIVE: [Project Closure Archive]

E. PROJECT CLOSURE LEGAL AND COMPLIANCE: [Project Closure Legal and Compliance]

F. PROJECT CLOSURE EVALUATION: [Project Closure Evaluation]

G. PROJECT CLOSURE ARCHIVE: [Project Closure Archive]

H. PROJECT CLOSURE LEGAL AND COMPLIANCE: [Project Closure Legal and Compliance]

I. PROJECT CLOSURE EVALUATION: [Project Closure Evaluation]

J. PROJECT CLOSURE ARCHIVE: [Project Closure Archive]

K. PROJECT CLOSURE LEGAL AND COMPLIANCE: [Project Closure Legal and Compliance]

L. PROJECT CLOSURE EVALUATION: [Project Closure Evaluation]



M. PROJECT CLOSURE ARCHIVE: [Project Closure Archive]

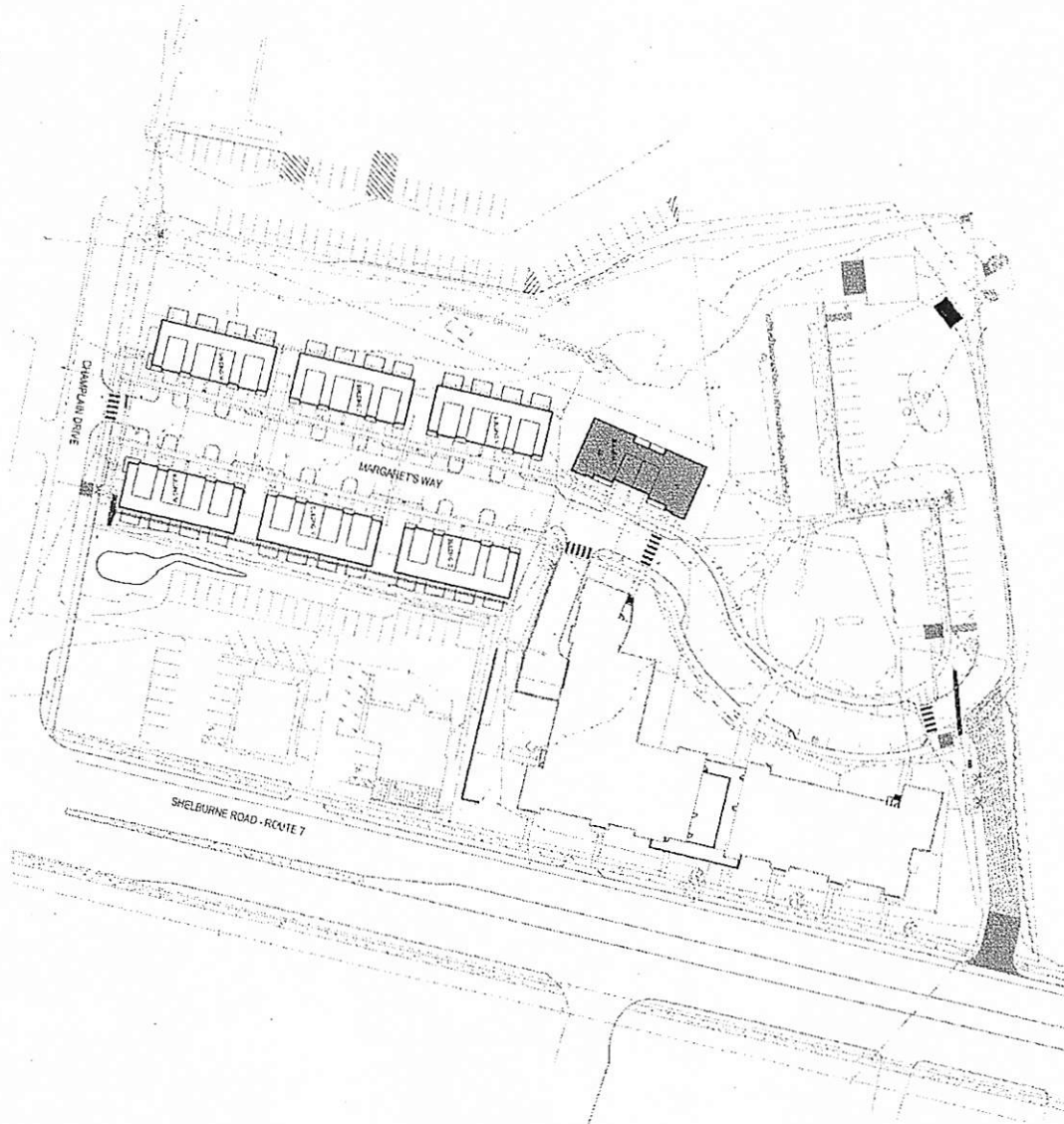
N. PROJECT CLOSURE LEGAL AND COMPLIANCE: [Project Closure Legal and Compliance]

O. PROJECT CLOSURE EVALUATION: [Project Closure Evaluation]

P. PROJECT CLOSURE ARCHIVE: [Project Closure Archive]

04/02/2025 - 95% CD SET


	<p>Bay Ridge Villas 69&81 Margaret's Way Shelburne, Vermont</p>	<p>5407 Trillium Boulevard Unit B110 Hoffman Estates, Illinois 60182 312.410.1260</p>
<p>AG0.1</p>		



1 ARCHITECTURAL SITE PLAN (FOR REFERENCE ONLY)

04/02/2025 - 95% CD SET

AS1.0	9881 MARGARET'S WAY
ARCHITECTURAL SITE PLAN	PROJ. NO.
SCALE	DATE


Bay Ridge Villas
69&81 Margaret's Way
 Shelburne, Vermont

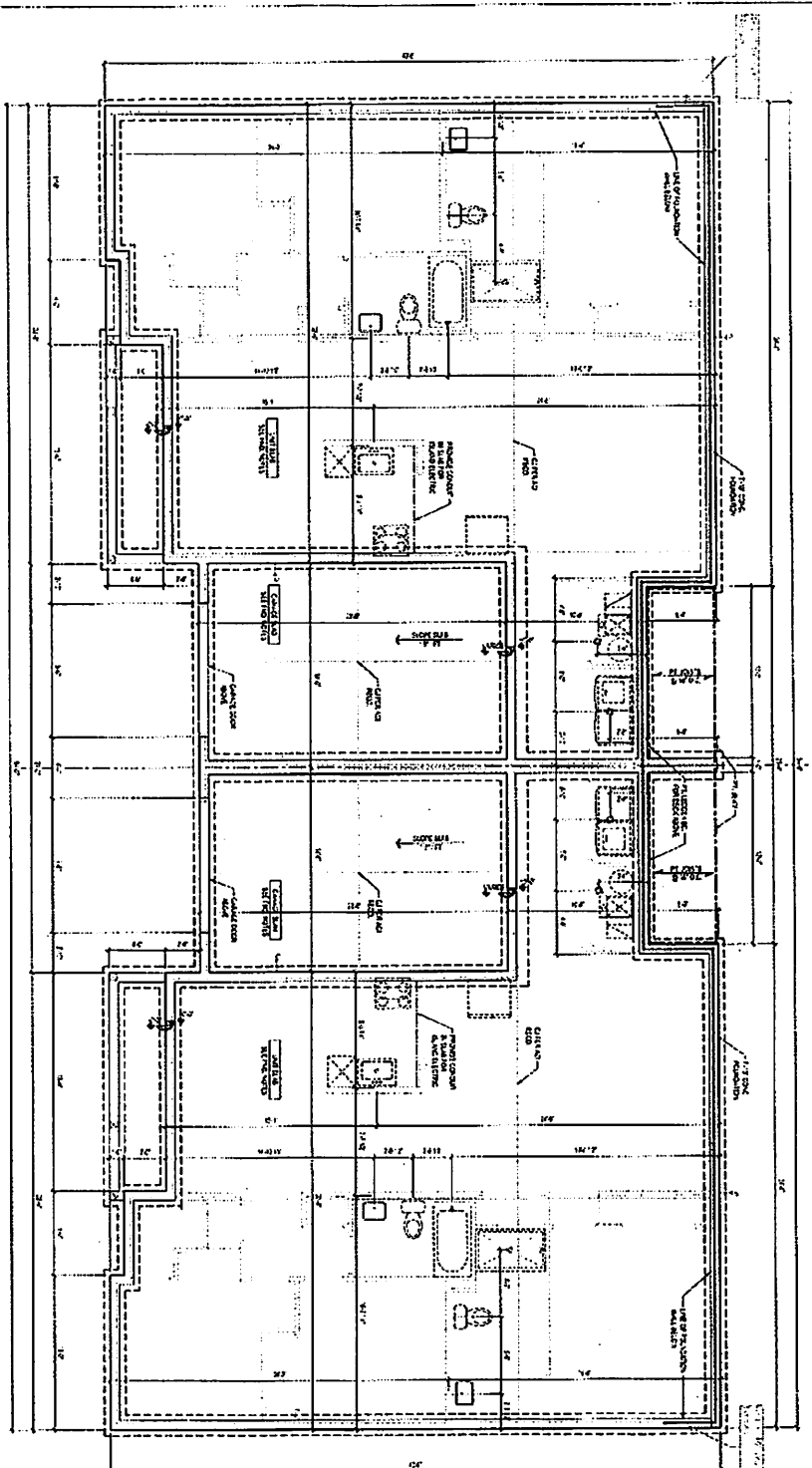
5407 Trillium Boulevard
 Unit B110
 Hoffman Estates, Illinois 60192
 312.410.1260



69 MARGARET'S WAY

81 MARGARET'S WAY

1 ASSEMBLY SLAB PLAN



FOUNDATION NOTES

FOUNDATION NOTES
TYPICAL UNIT SLAB
CONCRETE SHALL BE 1500 PSI WITH 4% STEEL FIBERS...
TYPICAL GABRIEL SLAB
CONCRETE SHALL BE 1500 PSI WITH 4% STEEL FIBERS...
TYPICAL PERCH SLAB
CONCRETE SHALL BE 1500 PSI WITH 4% STEEL FIBERS...
GENERAL
FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 IBC AND ALL APPLICABLE LOCAL ORDINANCES...

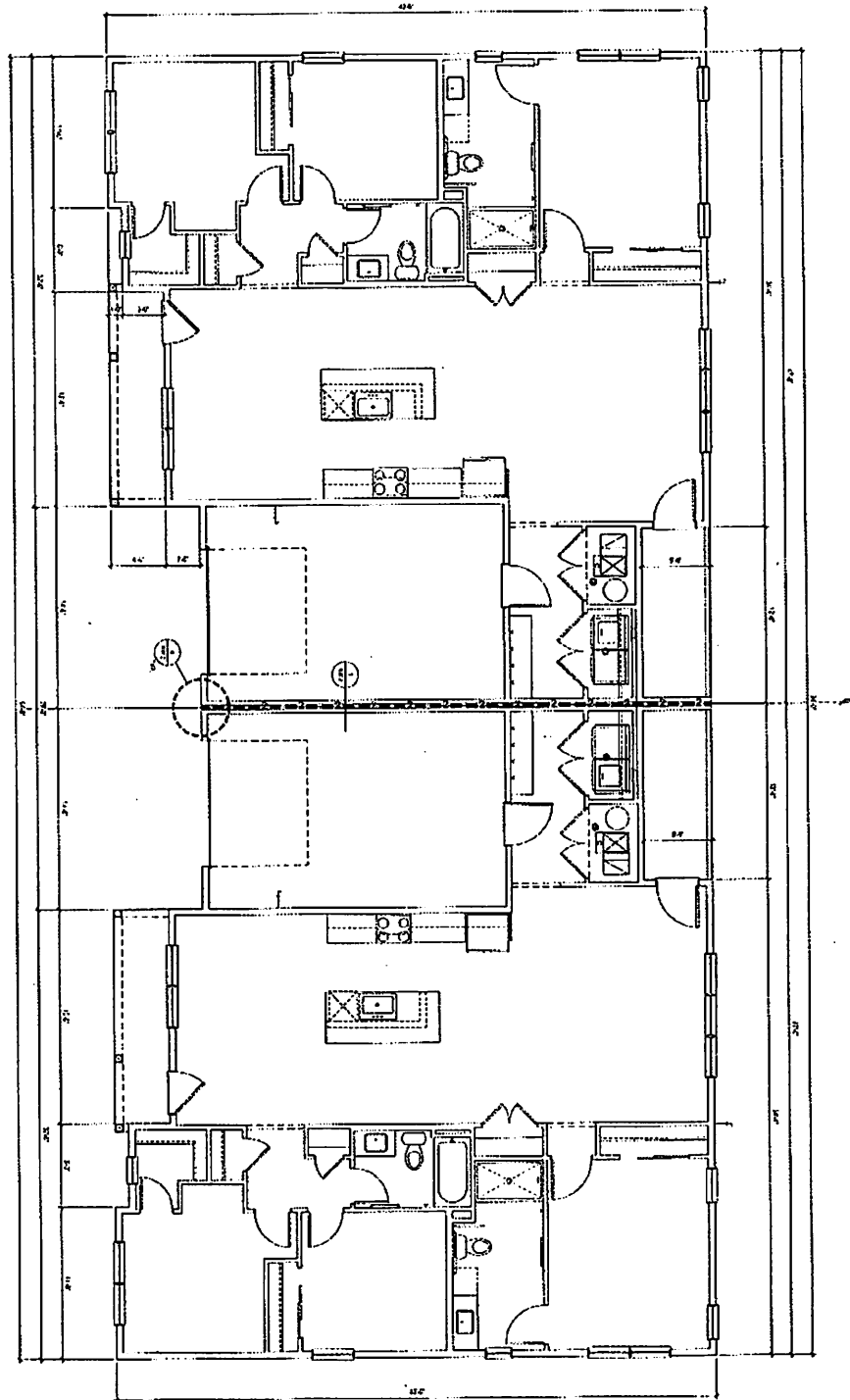
04/02/2025 - 95% CD SET

Table with project information including drawing title '69&81 MARGARET'S WAY', sheet number 'AA1.1', and date '04/02/2025'.

Bay Ridge Villas
69&81 Margaret's Way
Shelburne, Vermont
Snyder Homes logo

5407 Trillium Boulevard
Unit B110
Hoffman Estates, Illinois 60192
312.410.1260





1 ASSEMBLY MAIN FLOOR PLAN

FLOOR PLAN NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

2. FINISHES TO BE DETERMINED BY THE ARCHITECT.

3. ALL WALLS TO BE 1/2" GYP. BOARD ON STUDS.

4. ALL FLOORS TO BE 1" GYP. BOARD ON JOISTS.

5. ALL CEILING TO BE 1/2" GYP. BOARD ON RAFTERS.

6. ALL ROOFING TO BE AS SHOWN ON THE ROOF PLAN.

7. ALL MECHANICAL AND ELECTRICAL TO BE AS SHOWN ON THE MECHANICAL AND ELECTRICAL PLANS.

8. ALL PAINT TO BE AS SPECIFIED ON THE SPECIFICATIONS.

9. ALL GLASS TO BE AS SPECIFIED ON THE SPECIFICATIONS.

10. ALL DOORS TO BE AS SPECIFIED ON THE SPECIFICATIONS.

11. ALL WINDOWS TO BE AS SPECIFIED ON THE SPECIFICATIONS.

12. ALL STAIRS TO BE AS SHOWN ON THE STAIR PLAN.

13. ALL ELEVATORS TO BE AS SHOWN ON THE ELEVATOR PLAN.

14. ALL PLUMBING TO BE AS SHOWN ON THE PLUMBING PLAN.

15. ALL ELECTRICAL TO BE AS SHOWN ON THE ELECTRICAL PLAN.

16. ALL MECHANICAL TO BE AS SHOWN ON THE MECHANICAL PLAN.

17. ALL FINISHES TO BE AS SPECIFIED ON THE SPECIFICATIONS.

18. ALL MATERIALS TO BE AS SPECIFIED ON THE SPECIFICATIONS.

19. ALL CONSTRUCTION TO BE AS SHOWN ON THE CONSTRUCTION PLAN.

20. ALL UTILITIES TO BE AS SHOWN ON THE UTILITIES PLAN.

04/02/2025 - 95% CD SET

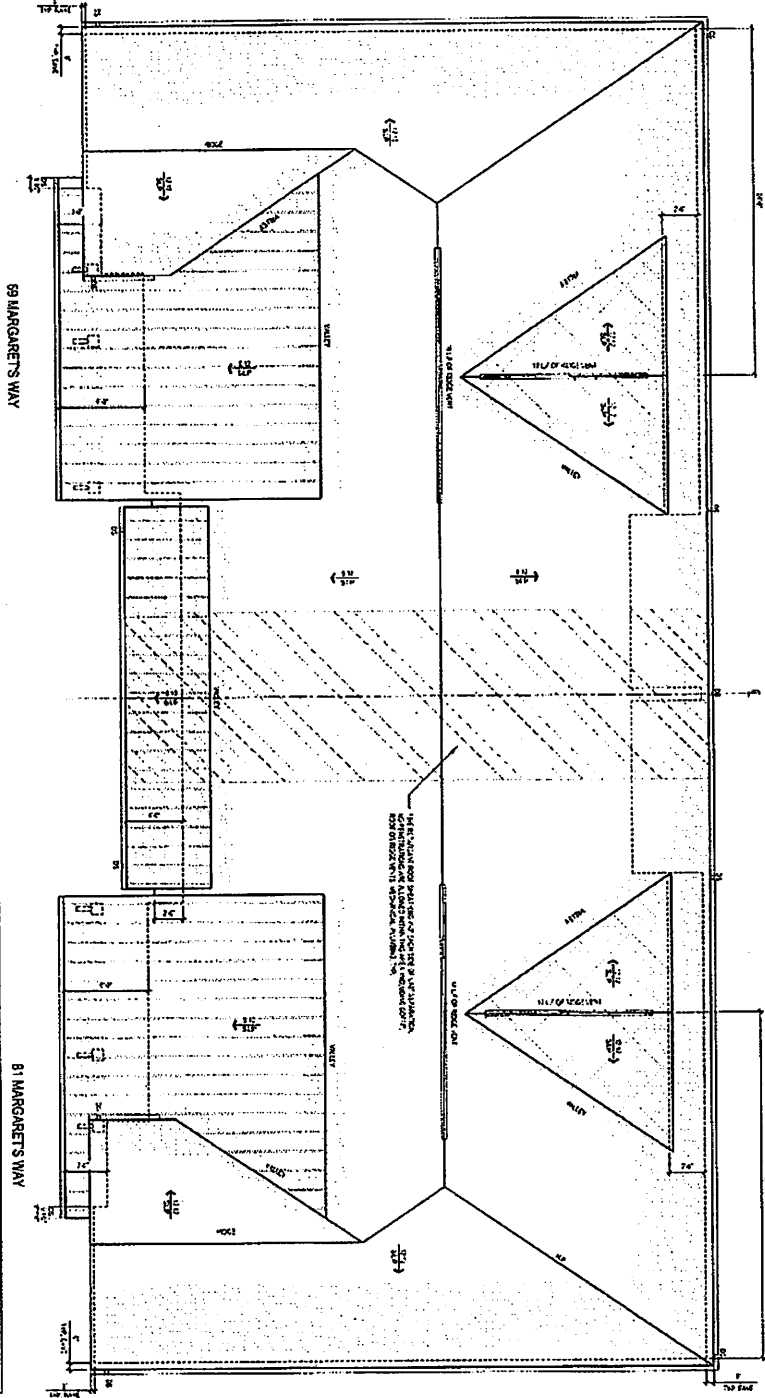
DATE	3/13/25
BY	AA2.1
PROJECT	69&81 MARGARET'S WAY
ARCHITECT	CÖBÜ ARCHITECTURE STUDIO
SCALE	AS SHOWN
REVISIONS	
NO.	DESCRIPTION

Snyder Homes

Bay Ridge Villas
69&81 Margaret's Way
Shelburne, Vermont

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Unit B110
Hoffman Estates, Illinois 60192
312.410.1260





1 ASSEMBLY ROOF PLAN

ATTIC VENTILATION SCHEDULE

AREA	ATTIC VENTILATION	VENTILATION SCHEDULE		VENTILATION SCHEDULE	
		MIN	MAX	MIN	MAX
69 MARGARET'S WAY	100	100	100	100	100
81 MARGARET'S WAY	100	100	100	100	100

NOTES: SEE ATTACHED ATTIC VENTILATION SCHEDULE FOR DETAILED INFORMATION. SEE ATTACHED ATTIC VENTILATION SCHEDULE FOR DETAILED INFORMATION. SEE ATTACHED ATTIC VENTILATION SCHEDULE FOR DETAILED INFORMATION.

FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED.

2. FINISH FLOOR IS INDICATED BY A DOTTED LINE. FINISH FLOOR IS INDICATED BY A DOTTED LINE. FINISH FLOOR IS INDICATED BY A DOTTED LINE.


3. FINISH FLOOR IS INDICATED BY A DOTTED LINE. FINISH FLOOR IS INDICATED BY A DOTTED LINE. FINISH FLOOR IS INDICATED BY A DOTTED LINE.

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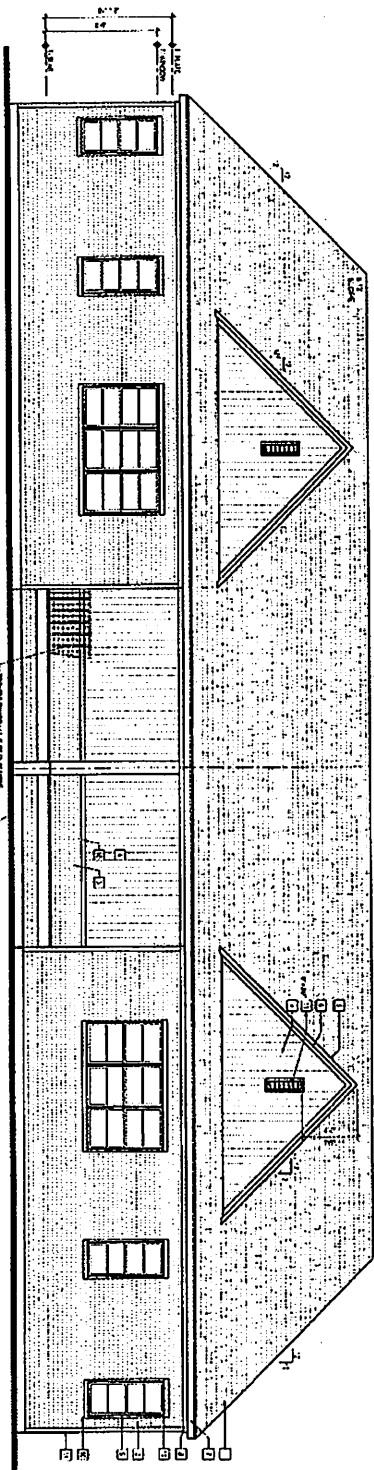
04/02/2025 - 95% CD SET

DATE	07/13/24
BY	ARCHITECT/PROJECT MANAGER
PROJECT	69 & 81 MARGARET'S WAY
SCALE	AA2.2

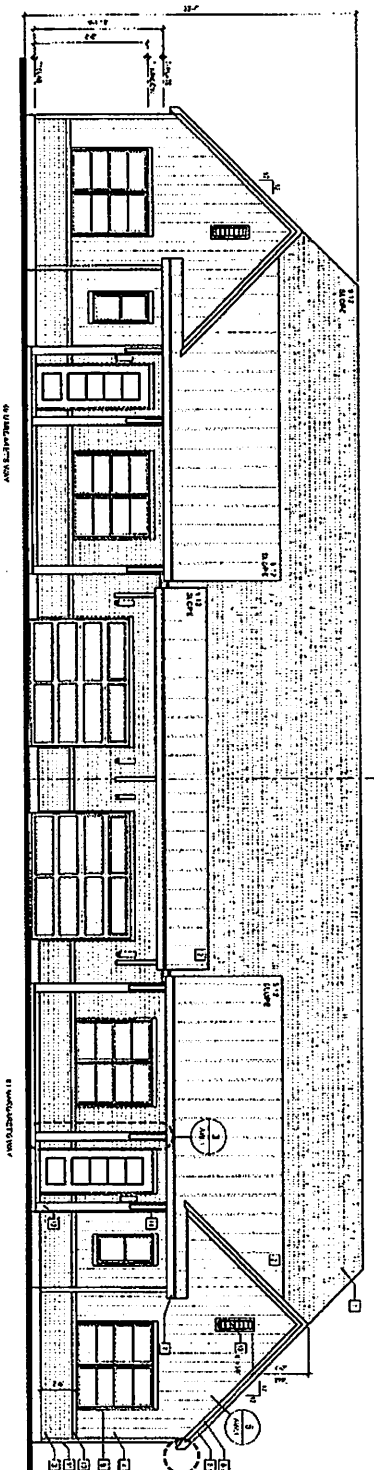

Bay Ridge Villas
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 Shelburne, Vermont

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 312.410.1260





2 ASSEMBLY REAR ELEVATION
 SCALE: 1/8" = 1'-0" (SEE SHEET 04-01 FOR DETAILS)



1 ASSEMBLY FRONT ELEVATION
 SCALE: 1/8" = 1'-0" (SEE SHEET 04-01 FOR DETAILS)

EXTERIOR ELEVATION NOTES

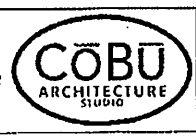
1. REFER TO SHEET 04-01 FOR ALL MATERIALS & FINISHES.
 2. ALL MATERIALS & FINISHES TO BE MATCHED TO THE EXISTING BUILDING.
 3. ALL MATERIALS & FINISHES TO BE MATCHED TO THE EXISTING BUILDING.
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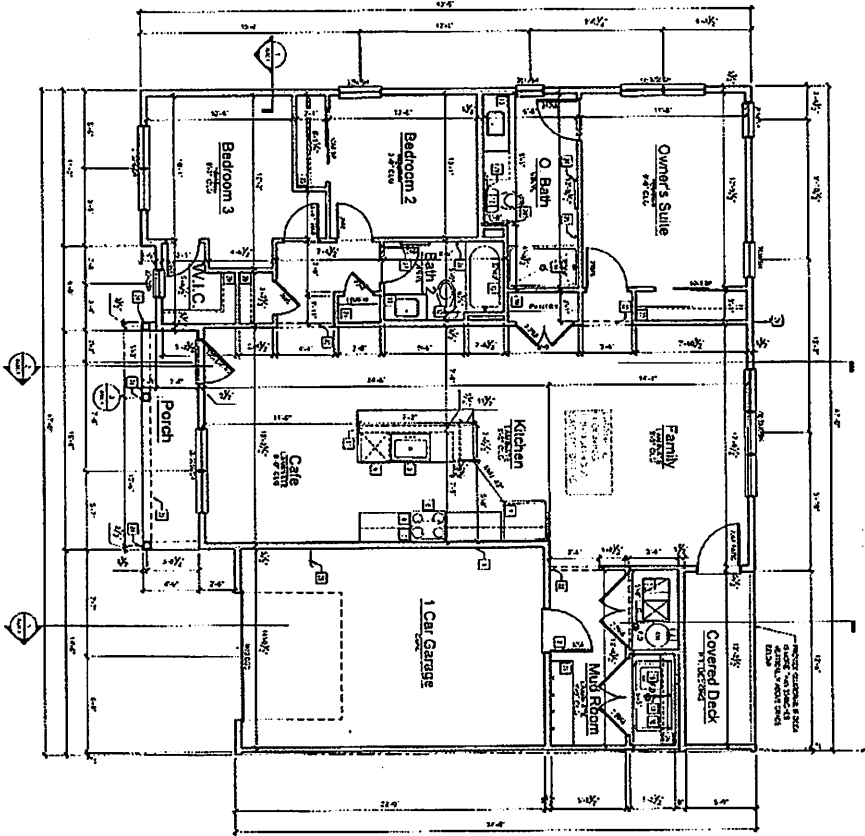
04/02/2025 - 95% CD SET

NO. 1000
 DATE: 2/23/25
 EXTERIOR ELEVATIONS
 SHELL MARGARET'S WAY
AA3.1

Snyder Homes **Bay Ridge Villas**
69&81 Margaret's Way
 Shelburne, Vermont

5407 Trillium Boulevard
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 Hoffman Estates, Illinois 60192
 312.410.1260





1 MAIN FLOOR PLAN

FLOOR PLAN NOTES

- 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
- 2. FINISH FLOOR TO FINISH FLOOR UNLESS OTHERWISE NOTED.
- 3. FINISH FLOOR TO FINISH CEILING UNLESS OTHERWISE NOTED.
- 4. FINISH FLOOR TO FINISH GRADE UNLESS OTHERWISE NOTED.
- 5. FINISH GRADE TO FINISH GRADE UNLESS OTHERWISE NOTED.
- 6. FINISH GRADE TO FINISH CEILING UNLESS OTHERWISE NOTED.
- 7. FINISH GRADE TO FINISH FLOOR UNLESS OTHERWISE NOTED.
- 8. FINISH GRADE TO FINISH WALL UNLESS OTHERWISE NOTED.
- 9. FINISH GRADE TO FINISH DOOR UNLESS OTHERWISE NOTED.
- 10. FINISH GRADE TO FINISH WINDOW UNLESS OTHERWISE NOTED.
- 11. FINISH GRADE TO FINISH PORCH UNLESS OTHERWISE NOTED.
- 12. FINISH GRADE TO FINISH DRIVE UNLESS OTHERWISE NOTED.
- 13. FINISH GRADE TO FINISH GARAGE UNLESS OTHERWISE NOTED.
- 14. FINISH GRADE TO FINISH PATIO UNLESS OTHERWISE NOTED.
- 15. FINISH GRADE TO FINISH DECK UNLESS OTHERWISE NOTED.
- 16. FINISH GRADE TO FINISH STAIR UNLESS OTHERWISE NOTED.
- 17. FINISH GRADE TO FINISH BATH UNLESS OTHERWISE NOTED.
- 18. FINISH GRADE TO FINISH KITCHEN UNLESS OTHERWISE NOTED.
- 19. FINISH GRADE TO FINISH FAMILY UNLESS OTHERWISE NOTED.
- 20. FINISH GRADE TO FINISH BEDROOM UNLESS OTHERWISE NOTED.
- 21. FINISH GRADE TO FINISH OWNER'S SUITE UNLESS OTHERWISE NOTED.
- 22. FINISH GRADE TO FINISH V.A.C. UNLESS OTHERWISE NOTED.
- 23. FINISH GRADE TO FINISH PORCH UNLESS OTHERWISE NOTED.
- 24. FINISH GRADE TO FINISH DRIVE UNLESS OTHERWISE NOTED.
- 25. FINISH GRADE TO FINISH GARAGE UNLESS OTHERWISE NOTED.
- 26. FINISH GRADE TO FINISH PATIO UNLESS OTHERWISE NOTED.
- 27. FINISH GRADE TO FINISH DECK UNLESS OTHERWISE NOTED.
- 28. FINISH GRADE TO FINISH STAIR UNLESS OTHERWISE NOTED.
- 29. FINISH GRADE TO FINISH BATH UNLESS OTHERWISE NOTED.
- 30. FINISH GRADE TO FINISH KITCHEN UNLESS OTHERWISE NOTED.
- 31. FINISH GRADE TO FINISH FAMILY UNLESS OTHERWISE NOTED.
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- 33. FINISH GRADE TO FINISH OWNER'S SUITE UNLESS OTHERWISE NOTED.
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- 66. FINISH GRADE TO FINISH KITCHEN UNLESS OTHERWISE NOTED.
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- 87. FINISH GRADE TO FINISH DECK UNLESS OTHERWISE NOTED.
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- 94. FINISH GRADE TO FINISH V.A.C. UNLESS OTHERWISE NOTED.
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- 96. FINISH GRADE TO FINISH DRIVE UNLESS OTHERWISE NOTED.
- 97. FINISH GRADE TO FINISH GARAGE UNLESS OTHERWISE NOTED.
- 98. FINISH GRADE TO FINISH PATIO UNLESS OTHERWISE NOTED.
- 99. FINISH GRADE TO FINISH DECK UNLESS OTHERWISE NOTED.
- 100. FINISH GRADE TO FINISH STAIR UNLESS OTHERWISE NOTED.

UNIT SQUARE FOOTAGES	
Garage	37
Deck	0
Stair	0
Other	0
Total	37

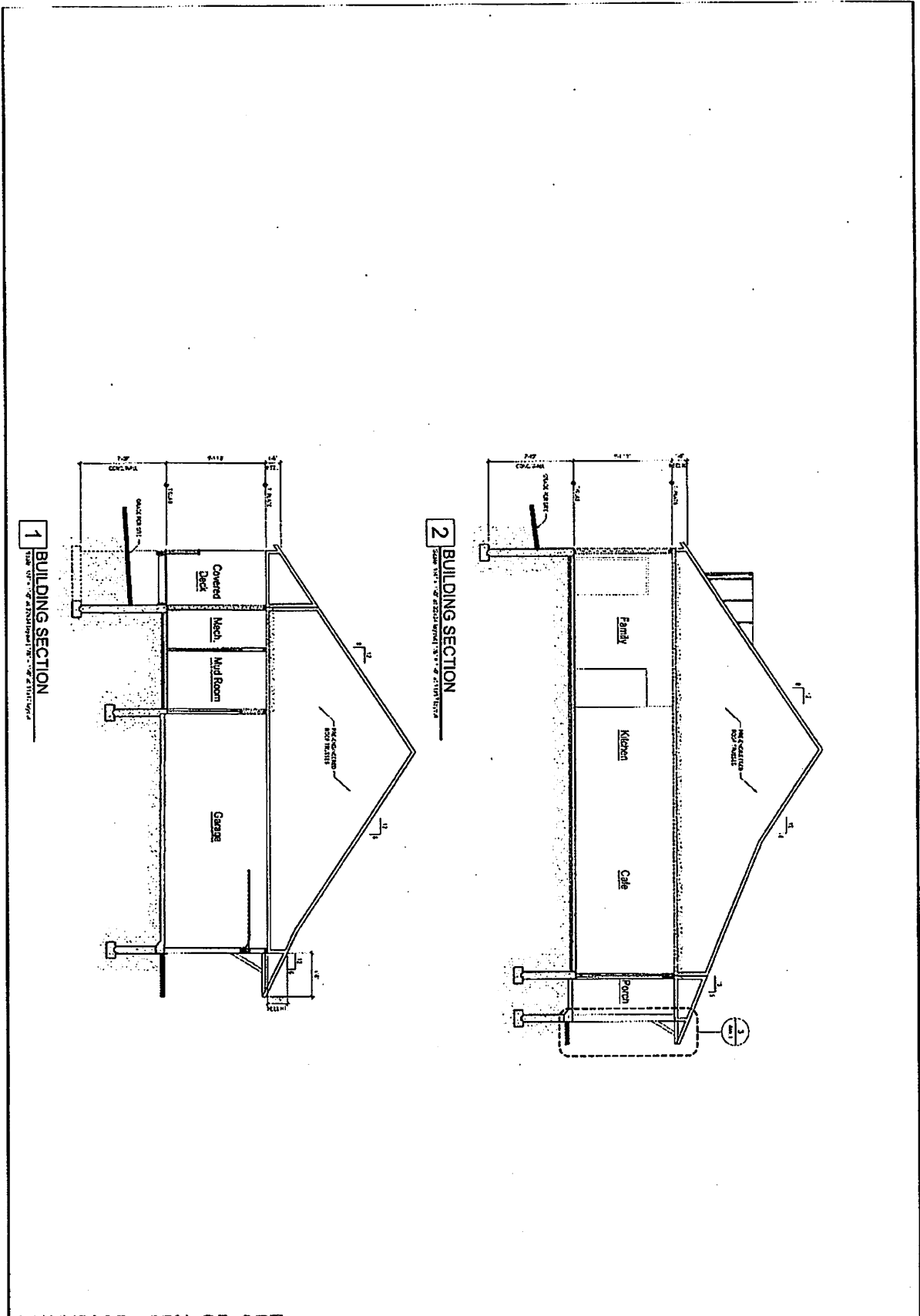
04/02/2025 - 95% CD SET

DATE: 04/02/2025
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT: 1920 MARGARET'S WAY
 SHEET: AU2.1

Bay Ridge Villas
69&81 Margaret's Way
 Shelburne, Vermont

5407 Trillium Boulevard
 Unit B110
 Hoffman Estates, Illinois 60192
 312.410.1260






1 BUILDING SECTION
 FROM VIEW OF 2100/2101/2102/2103/2104

2 BUILDING SECTION
 FROM VIEW OF 2100/2101/2102/2103/2104

04/02/2025 - 95% CD SET

DATE	BY


Bay Ridge Villas
 69&81 Margaret's Way
 Shelburne, Vermont

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 Unit B110
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